

APPROVED ISSUANCE OF **DEVELOPMENT PERMIT** (pursuant to Sec. 488 of the Local Government Act)

PERMIT # DP2021-006-C
FOLIO # 2188000
ZONING DESIGNATION: RR3 – Rural Residential 3
ISSUED TO: Jurgen Horst Axel Weyand and Angelika Gabrielle Weyand
CIVIC ADDRESS: 1809 Lakestone Drive, Lake Country, BC
LEGAL DESCRIPTION: LOT 1 SECTION 4 TOWNSHIP 20 OSOYOOS DIVISION YALE DISTRICT PLAN 12881
PARCEL IDENTIFIER: 009-338-608

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

Applicants for Development Permits should be aware that the issuance of a Permit limits the applicant to be in strict compliance with all District bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which have not been identified as required Variances by the applicant or Municipal staff.

If any term or condition of this permit is for any reason held to be invalid by a decision of a Court of competent jurisdiction, such decision will not affect the validity of the remaining portions of this permit.

1. TERMS AND CONDITIONS

Development Permit DP2021-006-C for 1809 Lakestone Drive, Lake Country, BC, the lot legally described as LOT 1 SECTION 4 TOWNSHIP 20 OSOYOOS DIVISION YALE DISTRICT PLAN 12881, Roll 2188000 to renovate the existing dwelling and construct an addition subject to the following conditions:

- a) The development of the subject property shall be conducted substantially in accordance with the following documents to the satisfaction of the Director of Planning & Development:
 - (i) **Schedule A:** The Site Plan prepared by Uprise Design & Drafting Inc. dated October 20, 2021;
 - (ii) **Schedule B:** The Construction Documents prepared by Uprise Design & Drafting Inc. dated October 20, 2021; and;
 - (iii) **Schedule C:** The Geotechnical prepared by Horizon Geotechnical Ltd., dated September 9, 2022. The Owner and Owner's Contractor must keep all construction activity completely on site.
- b) If any archaeologically significant item is found during construction activities must cease and the Province of British Columbia notified in conformity with the Heritage Conservation Act;

- c) Development and use of the subject property be in compliance with the provisions of the Municipality's various bylaws, except as explicitly varied or supplemented by the terms of this permit, subsequent permits, amendment(s) and/or development variance permits;
- d) The Development permit is only valid for the development that is described herein. If a change to development is considered, a new development permit or an amendment to this permit is required before starting any work.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, a security deposit is required in the amount of **\$0** (125% of the Performance Bond Estimate). (See Technical Development Permit)

- a) Cash in the amount of \$
- b) A Certified Cheque in the amount of \$
- c) An irrevocable Letter of Credit in the amount of \$

Upon completion of the works, the Permit Holder must provide a statement certified by a qualified professional(s) indicating that the works were completed in compliance with the conditions specified in the Development Permit. Upon acceptance of the works by municipal staff, 85% of the security shall be returned. The Municipality shall retain the remaining 15% for a period of 24 months from the date of acceptance of the works, during which time the Municipality may use the remaining security to replace the required works, if necessary. Upon the expiration of the 24 months warranty period, the Permit Holder must provide a statement certified by a qualified professional(s) indicating that the works have met the requirements of the survival monitoring and reporting along with the conditions specified in the Development Permit. The remaining security funds shall be refunded at the expiration of the 24 months warranty period, subject to a final inspection by Municipal staff to confirm the survival of the required works.

3. DEVELOPMENT

The development described herein shall be undertaken strictly in accordance with the terms, conditions and provisions

**The PERMIT HOLDER is the current land owner.
The Security shall be returned to the PERMIT
HOLDER.**

of this Permit and any plans and specifications attached to shall form a part hereof.

The development shall commence within **TWO** YEARS of the date that this permit is issued.

If the Permit Holder does not substantially commence the development permitted by this Permit within **TWO** years of the date of issuance of this permit, this permit shall lapse.

The terms of the permit or any amendment to it are binding on all persons who acquire an interest in the land affected by the permit.

**THIS IS NOT A BUILDING PERMIT OR A
CERTIFICATE TO COMMENCE
CONSTRUCTION**

4. APPROVALS

Authorization passed by Council on the _____ day of January 2023.

Issued by the Corporate Officer of the District of Lake Country this ___ day of _____, 2023.

Corporate Officer, Reyna Seabrook

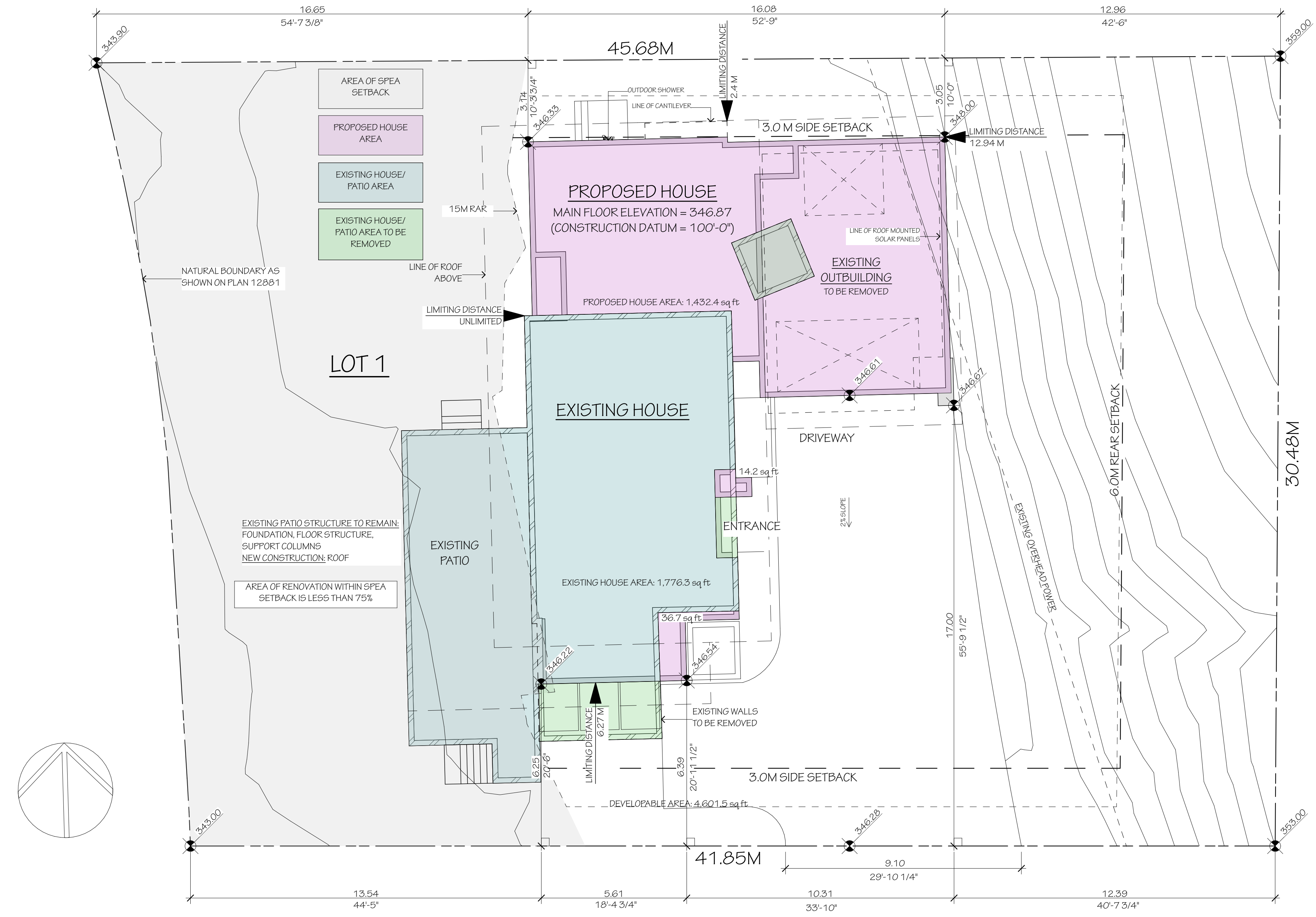
Schedule A

SITE INFORMATION	
CLIENTS:	WEYAND RESIDENCE
ZONING DISTRICT:	RR3
LEGAL ADDRESS:	LOT 1, PLAN KAP12881, SECTION 4, TOWNSHIP 20, OSOYOOS DIV OF YALE LAND DISTRICT
CIVIC ADDRESS:	1809 LAKESTONE DRIVE, LAKE COUNTRY, BRITISH COLUMBIA
ELEVATIONS:	
U/S FOOTING	BASED ON FROST + BEARING
T/O CRAWL SPACE SLAB	345.01 M (93'-11 1/4")
T/O FOUNDATION WALL	346.81 M (99'-9 3/4")
T/O GARAGE	346.81 M (99'-9 3/4")
T/O MAIN FLOOR	346.87 M (100'-0")
T/O UPPER FLOOR	350.86 M (113'-1 1/4")
FINISHED GRADE FRONT	346.27 M (98'-3/8")
FINISHED GRADE BACK	347.27 M (101'-4")
HOUSE AREA:	
MAIN FLOOR	1848.1 SQFT
UPPER FLOOR	1425.8 SQFT
TOTAL LIVABLE SPACE:	3273.9 SQFT
GARAGE:	
GARAGE	741.5 SQFT
CRAWLSPACE (EXIST. + NEW)	1782.5 SQFT
LOWER PATIO	673.9 SQFT
UPPER DECK	168.1 SQFT
TOTAL UN-LIVABLE SPACE:	3366.0 SQFT
TOTAL HOUSE AREA:	6639.9 SQFT
LOT:	
AREA	1311.9M ² (14,120.7 SQFT)
SITE COVERAGE	303.2M ² (3263.2 SQFT)
% LOT COVERAGE	23%

EXPOSED BUILDING FACE CALCULATIONS	
EAST ELEVATION	
TOTAL EBF =	133.5M ² (1437.4 SQFT)
LIMITING DISTANCE =	12.94 M/2 = 6.47 M
21.1% ALLOWED	AREA ALLOWED = 303.3 SQFT
AREA PROVIDED =	270.3 SQFT
WEST ELEVATION	
TOTAL EBF =	155.9 M ² (1677.75 SQFT)
LIMITING DISTANCE =	UNLIMITED
100% ALLOWED	
NORTH ELEVATION	
TOTAL EBF =	87.7 M ² (943.7 SQFT)
LIMITING DISTANCE =	2.4 M/2 = 1.2 M
7% ALLOWED	AREA ALLOWED = 66.1 SQFT
AREA PROVIDED =	118.6 SQFT
SOUTH ELEVATION	
TOTAL EBF =	939.9 M ² (87.3 SQFT)
FACE 1 =	56.6M ² (607.0 SQFT)
LIMITING DISTANCE =	6.27 M/2 = 3.14 M
19.5% ALLOWED	AREA ALLOWED = 118.4 SQFT
AREA PROVIDED =	93.8 SQFT
FACE 2 =	30.9 M ² (332.9 SQFT)
LIMITING DISTANCE =	17.5M/2 = 8.75 M
100% ALLOWED	

2 SITE INFORMATION

3 E.B.F.



1 SITE PLAN

SCALE: 1:100

GENERAL NOTES:
 These notes constitute a part of the drawing package and are intended to be understood before commencement of the project. All construction to comply with BC Building Code 2018 and applicable bylaws. All work shall be consistent with the standards set out by each trades professional association. Contractor/Builder is responsible for verifying all dimensions and specifications before commencing construction. Written dimensions take precedent over scaled dimensions. Dimensions are from the face of stud on the exterior of the building to face of stud on interior partitions. Uprise is not responsible for changes or variances from these drawings to site conditions or the structural drawings provided by the P ENG. For Roof, Floor, Wall or Foundation, and is the responsibility of the Contractor/Builder to resolve discrepancies. Any and all design that requires Engineering is the sole responsibility and at the cost of the Owner.

ERRORS AND OMISSIONS:
 Uprise makes every effort to provide a clear, concise and complete set of construction documents. However Uprise cannot assume liability for any errors or omissions which may affect construction. It is the responsibility of the Contractor/Builder to verify dimensions, details and specifications before construction. If an error or omission is found in this set of documents, please bring it to our attention and we will correct it and provide an amendment document immediately.

STRUCTURAL DESIGN AND ENGINEERING:
 All load carrying elements including but not limited to joist, beams and columns within roofs, walls and floors must comply with the limits set out in Part 9 of the BCBC or be designed by P ENG. The design of this building will require the professional assurances of an Engineer for the Roof System, Floor System, Beams (optional) and Foundation.

CONSTRUCTION SITE NOTE:
 The Contractor/Builder is responsible for the correct positioning of the house on the site. Driveways, walkways, steps, retaining walls and all other site works to be verified once finished grade is established in relation to the top of foundation wall. Finished grading of all surfaces are to be designed to slope away from the building.

FOUNDATIONS:
 Foundations shall be concrete on solid undisturbed or compacted bearing and below frost line. Unless otherwise noted the compressive strength of unreinforced concrete after 28 days shall be not less than 15 MPa for walls, columns, fireplaces and chimneys, footings, foundation walls, grade beams and piers, 20 MPa for floors other than those in garages and carports, and for garage and carport floors, and the exterior steps 32 MPa. Concrete used for garage and carport floors and exterior steps shall have an entrainment of 5 to 8%. Foundation Wall elevations are based off best information provided and relate to specific construction methods as seen in drawing details and assumes location of solid bearing and must be confirmed by builder. Where the exterior finished ground level is at a higher elevation than the ground level inside the foundation walls, exterior surfaces of foundation walls below ground level shall be dampproofed. Soil Gas Prevention: All wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system. Concrete Walls exceeding max heights for unreinforced concrete must be designed by a P ENG. It is recommended that Footings and Foundations are of the reinforced type and therefore are designed by a P ENG. Subsurface perimeter drainage to conform to 2018 BCBC and be connected to a dry well.

WOOD FRAMING:
 Lumber for joists, rafters, trusses and beams shall be identified by a grade stamp to indicate its grade as determined by NLGA 2007, "Standard Grading Rules for Canadian Lumber". Owner/Contractor to confirm all rough openings for doors, windows and other units with manufacturers installation recommendations before commencement of construction. Security blocking to be installed at all exterior doors. Builder is responsible for proper framed backing between studs, trusses, joist, ect. For the installation of rails, grab bars, cabinets, ect. Laminated columns supporting built-up beams or girder trusses to be same width as supported member unless otherwise noted by P ENG. All beams, lintels and columns are subject to engineering as roof loads may not be covered by the building code. All installation of Engineers products must follow specifications of P ENG. structural drawings. Interior partitions over 6'-0" long running parallel to the floor direction shall have either double joist or cross framing for support. All lintels to be built-up 2 ply 2x10 unless otherwise noted. All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity. Ends of wood joists, beams and other members framing into masonry or concrete shall be treated to prevent decay where the bottom of the member is at or below ground level, or a 12 mm air space shall be provided at the end and sides of the member. Wood framing members that are not pressure-treated with a wood preservative and that are supported on concrete in contact with the ground or fill shall be separated from the concrete by not less than 0.05 mm polyethylene film or Type S roll roofing. Building frames shall be anchored to the foundation. All spans to comply with the limits stated in the 2018 BCBC. Floors, Walls and Trusses to be braced, strapped and bridged for maximum rigidity.

PLUMBING AND ELECTRICAL:
 Installation of plumbing and electrical must comply with local and regulations in all aspects. Outdoor locations are to comply with current building code requirements. No electrical or plumbing fixture or outlet or any service run may be installed in or through fire separation walls between suites. All locations of drains shown in fixtures or fans are just symbols and should be reviewed with owner and contractor before any installation. Locations of drains are subject to the type of fixture being installed.

HVAC:
 Design and sizing of HVAC should be done in consultation with a professional as increased focus is being placed on energy savings and indoor air quality. Where the roof slope is less than 1 in 6 or on roofs that are constructed with roof joints, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area. Roofs shall be protected with roofing, including flashing, installed to shed rain effectively and prevent water due to ice damming from entering the roof. All drainage, downspouts, and roof drains to be confirmed by truss supplier and contractor. All roof drains must conform to Part 7 of the BCBC. Eave protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum of 300 mm up the roof slope to a line not less than 300 mm inside the inner face of the exterior wall.

ROOF:
 Except where it can be shown to be unnecessary a space shall be provided between the insulation and the sheathing, and vents shall be installed to permit the transfer of moisture from the space to the exterior. The unobstructed vent area shall be not less than 1/300 of the insulated ceiling area. Flash at all unprotected openings. Sealant shall be provided where required to prevent the entry of water into the structure. Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain. Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain. Minimum distance between finished grade and exterior cladding must be 8in.

BUILDING ENVELOPE:
 All walls, ceilings and floors separating conditioned space from unconditioned space, the exterior air or the ground shall be provided with thermal insulation, a continuous air barrier and a vapour barrier. Flash at all unprotected openings. Sealant shall be provided where required to prevent the entry of water into the structure. Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain. Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain. Minimum distance between finished grade and exterior cladding must be 8in.

INSULATION:
 Degree Days for Kelowna: 3400 Climate Zone: 5 (3000 to 3999 HDD) Minimum requirements: RSI is for effective insulation for total assembly (* denotes where insulation adjustments are permitted with HRV) Ceiling below Attics RSI 8.67 (R-49.2)* Roof Joist Assemblies (Cathedral Ceilings/Flat Roofs) RSI 4.67 (R-26.5) Exterior Walls (above grade) RSI 3.08 (R-17.5)* Floors over unheated spaces RSI 4.67 (R-26.5) Foundation Walls RSI 2.98 (R-16.9) Unheated Floors Above Frost Line RSI 1.96 (R-11.1) Unheated Floors below frost line (insulation not required) Heated Floors RSI 2.32 (R-13.2) Slabs-on-Grade with an Integral Footing RSI 1.96 (R-11.1)

FINISHING:
 All interior and exterior finishes shall be specified by owner. Finishing shown on plans shall be confirmed by owner. Soffits to be LUX or perforated aluminum on all exterior trusses as noted on plans. It is recommended that suitable water resistant backer board be used in all high moisture areas. All doors and windows must meet or exceed new standard performance and installation Standards. Exterior Doors shall be solid core and weather striped. Garage doors to dwelling to be solid core, weather striped and self closing. Coat and Clothing closets shall have one rod and shelf. Linen closets shall have 5 shelves if possible and broom closets shall have one shelf. All millwork and cabinets to be determined in consultation with millwork and cabinet suppliers.

UPRISE DESIGN + DRAFTING INC.
 PH: 778.480.0341

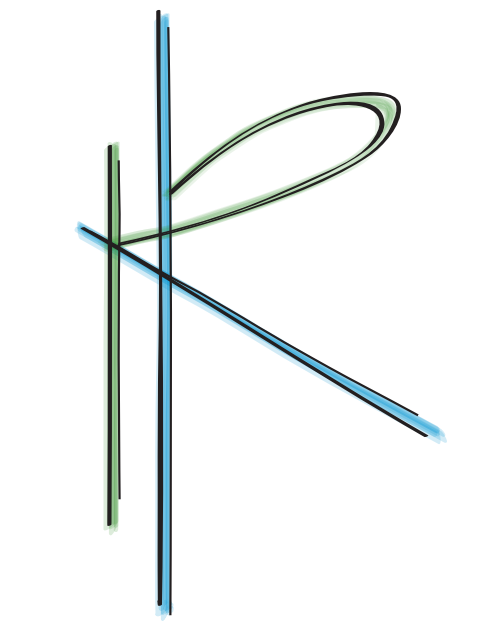
1809 LAKESTONE DRIVE
 WEYAND RESIDENCE
 DATE: OCTOBER 20, 2021
 SCALE: AS NOTED

GENERAL NOTES

1. ALL PLANS AND DIMENSIONS MUST BE REVIEWED BY CONTRACTOR BEFORE CONSTRUCTION AND MUST VERIFY ANY DISCREPANCIES BETWEEN THE DRAWING AND EXISTING CONDITIONS PRIOR TO WORK BEING DONE.
2. CONTRACTOR MUST COMPLY WITH ALL CURRENT BUILDING CODES, BY-LAWS AND REGULATIONS.
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REVISIONS		
#	DATE	DESCRIPTION
3	10/20/2021	REISSUED FOR BUILDING PERMIT
2	12/01/2020	SOLAR PANEL REVISION
1	09/18/2020	ISSUED FOR BUILDING PERMIT

Schedule B



UPRISE DESIGN + DRAFTING INC.
PH: 778.480.0341

1809 LAKESTONE DRIVE
WEYAND RESIDENCE
DATE: OCTOBER 20, 2021
SCALE: AS NOTED

1809 LAKESTONE DRIVE

CONSTRUCTION DOCUMENTS

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REVISIONS

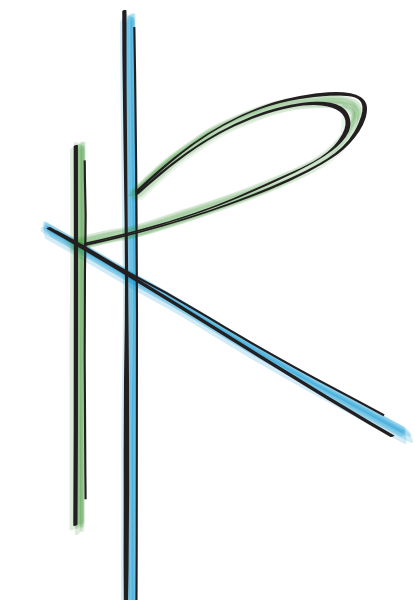
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SHEET INDEX

ID	Name
0.0	COVER SHEET
0.1	SITE PLAN
1.0	FOUNDATION PLAN
1.1	BASEMENT PLAN
1.2	MAIN FLOOR PLAN
1.3	UPPER FLOOR PLAN
1.4	ROOF PLAN
2.0	ELEVATIONS
2.1	ELEVATIONS
3.0	SECTIONS + DETAILS
3.1	SECTIONS + DETAILS
4.0	SCHEDULES + DETAILS

COVER SHEET

0.0



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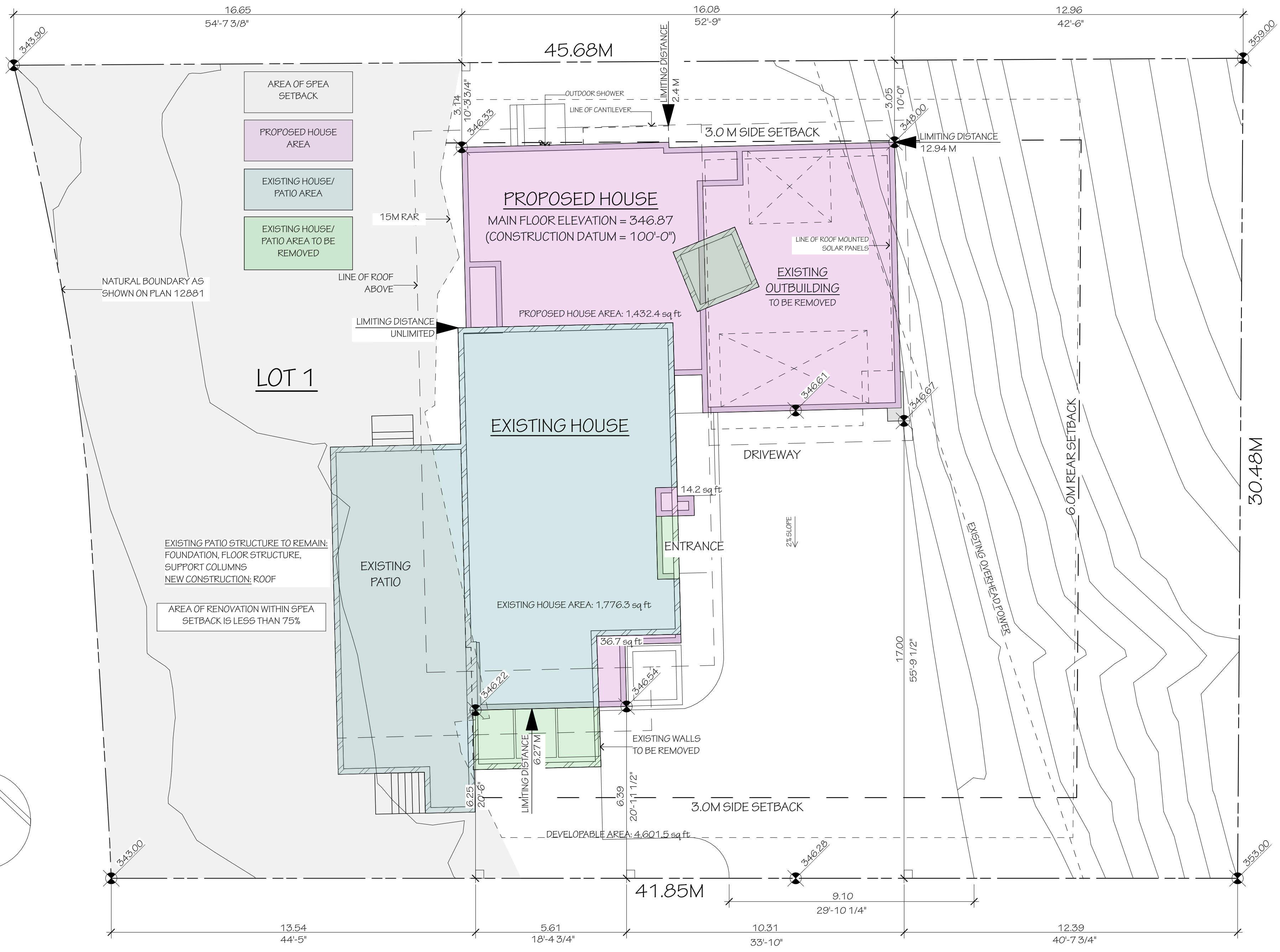
SITE PLAN
0.1
SHEET 2 OF 12

SITE INFORMATION	
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100% ALLOWED	

2 SITE INFORMATION

3 E.B.F.



1 SITE PLAN
SCALE: 1:100

GENERAL NOTES:
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Dimensions are from the face of stud on the exterior of the building to face of stud on interior partitions.
Uprise is not responsible for changes or variances from these drawings to site conditions or the structural drawings provided by the P.E.N.G. for Roof, Floor, Wall or Foundation, and is the responsibility of the Contractor/Builder to resolve discrepancies.
Any and all design that requires Engineering is the sole responsibility and at the cost of the Owner.

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STRUCTURAL DESIGN AND ENGINEERING:
All load carrying elements including but not limited to joist, beams and columns within roofs, walls and floors must comply with the limits set out in Part 9 of the BCBC or be designed by P.E.N.G.
The design of this building will require the professional assurances of an Engineer for the Roof System, Floor System, Beams (optional) and Foundation.

CONSTRUCTION SITE NOTE:
The Contractor/Builder is responsible for the correct positioning of the house on the site.
Driveways, walkways, steps, retaining walls and all other site works to be verified once finished grade is established in relation to the top of foundation wall.
Finished grading of all surfaces are to be designed to slope away from the building.

FOUNDATIONS:
Foundations shall be concrete on solid undisturbed or compacted bearing and below frost line.
Unless otherwise noted the compressive strength of unreinforced concrete after 28 days shall be not less than 15 MPa for walls, columns, fireplaces and chimneys, footings, foundation walls, grade beams and piers, 20 MPa for floors other than those in garages and carports, and for garage and carport floors, and the exterior steps 32 MPa.
Concrete used for garage and carport floors and exterior steps shall have an entrainment of 5 to 8%.
Foundation Wall elevations are based off best information provided and relate to specific construction methods as seen in drawing details and assumes location of solid bearing and must be confirmed by builder.
Where the exterior finished ground level is at a higher elevation than the ground level inside the foundation walls, exterior surfaces of foundation walls below ground level shall be dampproofed.
Soil Gas Prevention: All wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system.
Concrete Walls exceeding max heights for unreinforced concrete must be designed by a P.E.N.G.
It is recommended that Footings and Foundations are of the reinforced type and therefore are designed by a P.E.N.G.
Subsurface perimeter drainage to conform to 2018 BCBC and be connected to a dry well.

WOOD FRAMING:
Lumber for joists, rafters, trusses and beams shall be identified by a grade stamp to indicate its grade as determined by NLGA 2007, "Standard Grading Rules for Canadian Lumber".
Owner/Contractor to confirm all rough openings for doors, windows and other units with manufacturers installation recommendations before commencement of construction.
Security blocking to be installed at all exterior doors.
Builder is responsible for proper framed backing between studs, trusses, joist, ect. For the installation of rails, grab bars, cabinets, ect.
Laminated columns supporting built-up beams or girder trusses to be same width as supported member unless otherwise noted by P.E.N.G.
All beams, lintels and columns are subject to engineering as roof loads may not be covered by the building code.
All installation of Engineers products must follow specifications of P.E.N.G. structural drawings.
Interior partitions over 6'-0" long running parallel to the floor direction shall have either double joist or cross framing for support.
All lintels to be built-up 2 ply 2x10 unless otherwise noted.
All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.
Ends of wood joists, beams and other members framing into masonry or concrete shall be treated to prevent decay where the bottom of the member is at or below ground level, or a 12 mm air space shall be provided at the end and sides of the member.
Wood framing members that are not pressure-treated with a wood preservative and that are supported on concrete in contact with the ground or fill shall be separated from the concrete by not less than 0.05 mm polyethylene film or Type 5 roll roofing.
Building frames shall be anchored to the foundation.
All spans to comply with the limits stated in the 2018 BCBC.
Floors, Walls and Trusses to be braced, strapped and bridged for maximum rigidity.

4 GENERAL NOTES

PLUMBING AND ELECTRICAL:
Installation of plumbing and electrical must comply with local and regulations in all aspects.
Outdoor locations are to comply with current building code requirements.
No electrical or plumbing fixture or outlet or any service run may be installed in or through fire separation walls between suites.
Fuel burning appliances, including furnaces, fireplaces and stoves, to be provided with combustion air supply from the exterior.

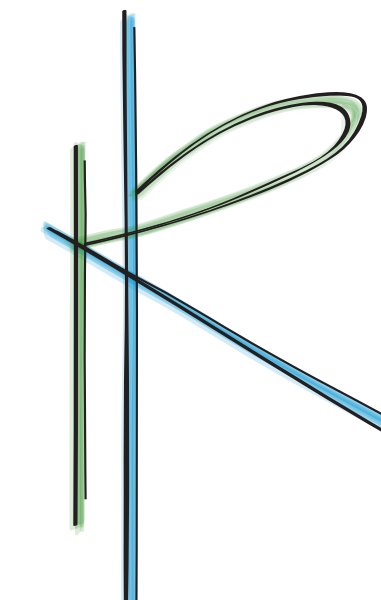
HVAC:
Design and sizing of HVAC should be done in consultation with a professional as increased focus is being placed on energy savings and indoor air quality.
Where the roof slope is less than 1 in 6 or on roofs that are constructed with roof joints, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.
Roofs shall be protected with roofing, including flashing, installed to shed rain effectively and prevent water due to ice damming from entering the roof.
All drainage, downspouts, and roof drains to be confirmed by truss supplier and contractor. All roof drains must conform to Part 7 of the BCBC.
Eave protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum of 300 mm up the roof slope to a line not less than 300 mm inside the inner face of the exterior wall.

ROOF:
Except where it can be shown to be unnecessary a space shall be provided between the insulation and the sheathing, and vents shall be installed to permit the transfer of moisture from the space to the exterior.
The unobstructed vent area shall be not less than 1/300 of the insulated ceiling area.
Where the roof slope is less than 1 in 6 or on roofs that are constructed with roof joints, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.
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Eave protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum of 300 mm up the roof slope to a line not less than 300 mm inside the inner face of the exterior wall.

BUILDING ENVELOPE:
All walls, ceilings and floors separating conditioned space from unconditioned space, the exterior air or the ground shall be provided with thermal insulation, a continuous air barrier and a vapour barrier.
Flash at all unprotected openings.
Sealant shall be provided where required to prevent the entry of water into the structure.
Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain.
Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
Minimum distance between finished grade and exterior cladding must be 8in.

INSULATION:
Degree Days for Kelowna: 3400 Climate Zone: 5 (3000 to 3999 HDD)
Minimum requirements:
RSI is for effective insulation for total assembly (* denotes where insulation adjustments are permitted with HRV)
Ceiling below Attics RSI 8.67 (R-49.2)
Roof Joist Assemblies (Cathedral Ceilings/Flat Roofs) RSI 4.67 (R-26.5)
Exterior Walls (above grade) RSI 3.08 (R-17.5)
Floors over unheated spaces RSI 4.67 (R-26.5)
Foundation Walls RSI 2.98 (R-16.9)
Unheated Floors Above Frost Line RSI 1.96 (R-11.1)
Unheated Floors below frost line (Insulation not required)
Heated Floors RSI 2.32 (R-13.2)
Slabs-on-Grade with an Integral Footing RSI 1.96 (R-11.1)

FINISHING:
All interior and exterior finishes shall be specified by owner.
Finishing shown on plans shall be confirmed by owner.
Soffits to be LUX or perforated aluminum on all exterior trusses as noted on plans.
It is recommended that suitable water resistant backer board be used in all high moisture areas.
All doors and windows must meet or exceed new standard performance and installation Standards.
Exterior Doors shall be solid core and weather striped. Garage doors to dwelling to be solid core, weather stripped and self closing.
Coat and Clothing closets shall have one rod and shelf. Linen closets shall have 5 shelves if possible and broom closets shall have one shelf.
All millwork and cabinets to be determined in consultation with millwork and cabinet suppliers.

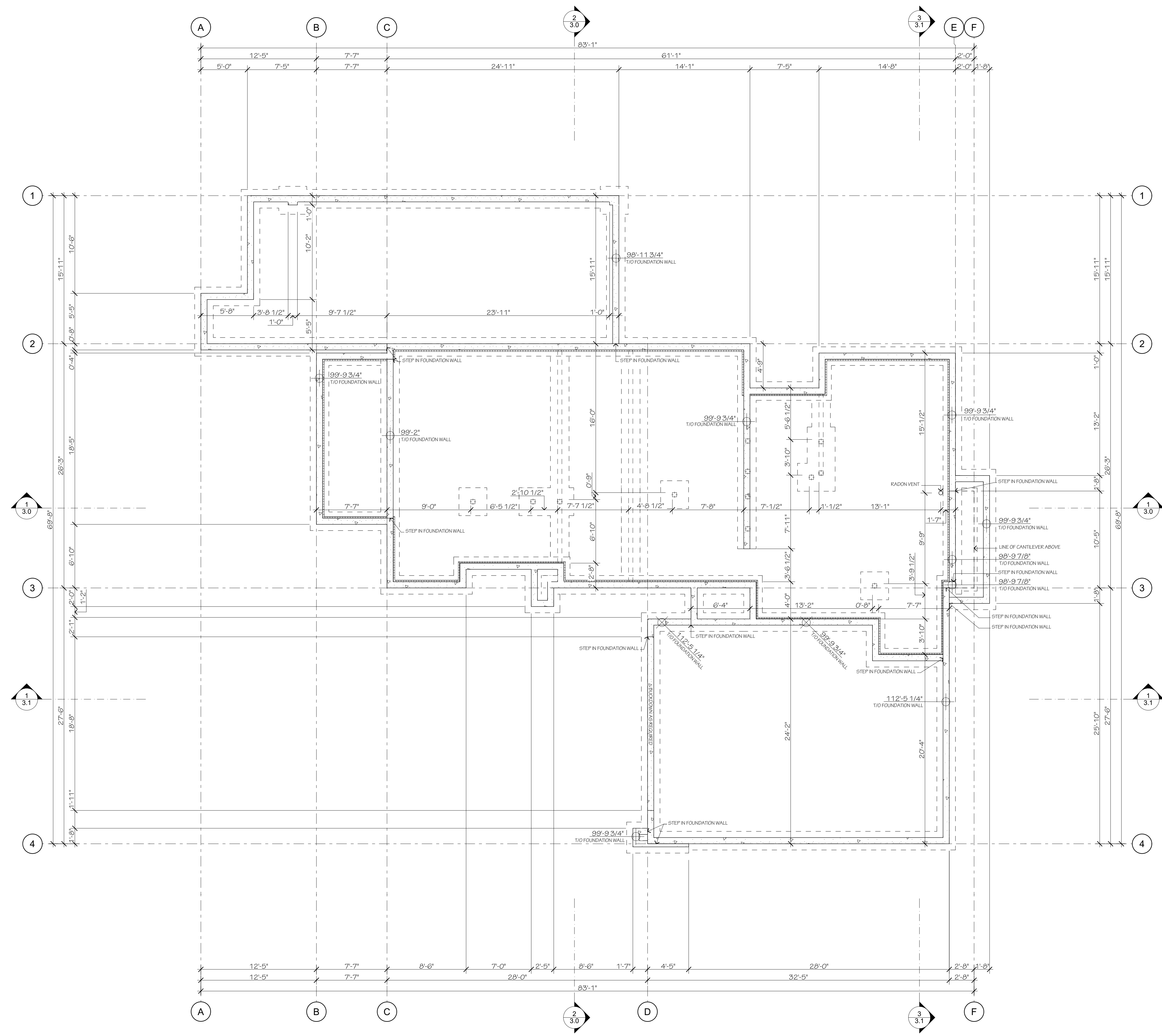


1809 LAKESTONE DRIVE
WEYAND RESIDENCE
DATE: OCTOBER 20, 2021
SCALE: AS NOTED

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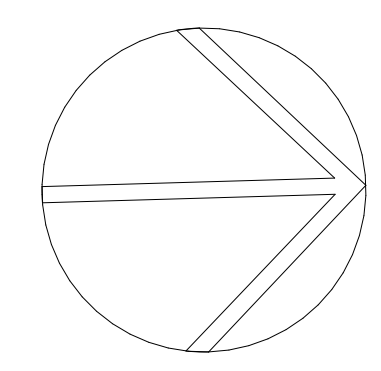
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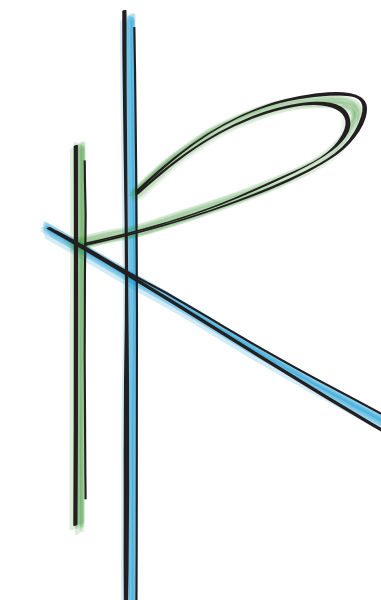
FOUNDATION PLAN



1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

FOOTING AND FOUNDATION SPECIFICATIONS TO CONFORM TO ENGINEERED DRAWINGS WHERE REQUIRED. DEPTH OF FOOTING MUST BE REVIEWED BY CONTRACTOR AND CONSTRUCTED BASED ON SUITABLE SOIL BEARING AND FROST PROTECTION.





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WALL ASSEMBLIES

- TYPICAL EXTERIOR WALL
CLADDING
WEATHER BARRIER
3/8" SHEATHING
2x6 STUD WALL
BATT INSULATION
VAPOR/AIR BARRIER
1/2" GYPSUM BOARD
- FROST WALL
6" CONCRETE WALL
1" AIR SPACE
2x6 STUD WALL
BATT INSULATION
VAPOR/AIR BARRIER
1/2" GYPSUM BOARD
- GARAGE WALL
1/2" GYPSUM BOARD
2x6 STUD WALL
BATT INSULATION
AIR/VAPOR BARRIER
1/2" GYPSUM BOARD
- STONE COLUMN FEATURE
STONE
WEATHER BARRIER
3/8" SHEATHING
2x4 STUD WALL
- TYPICAL INTERIOR WALL
1/2" GYPSUM BOARD
2x4 STUD WALL
1/2" GYPSUM BOARD
- 2X6 WALL
1/2" GYPSUM BOARD
2x6 STUD WALL
1/2" GYPSUM BOARD
- LOAD BEARING INTERIOR WALL
1/2" GYPSUM BOARD
2x6 STUD WALL
1/2" GYPSUM BOARD

GENERAL NOTES

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REVISIONS

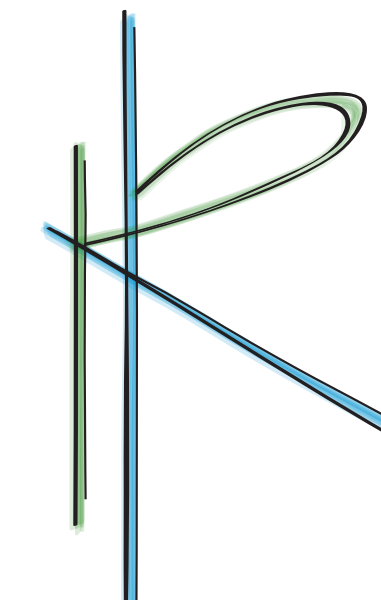
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1 BASEMENT PLAN
SCALE: 3/16" = 1'-0"

PROPOSED CRAWL SPACE AREA: 638.8 sq ft
EXISTING CRAWL SPACE AREA: 1,143.7 sq ft

BASEMENT PLAN

1.1



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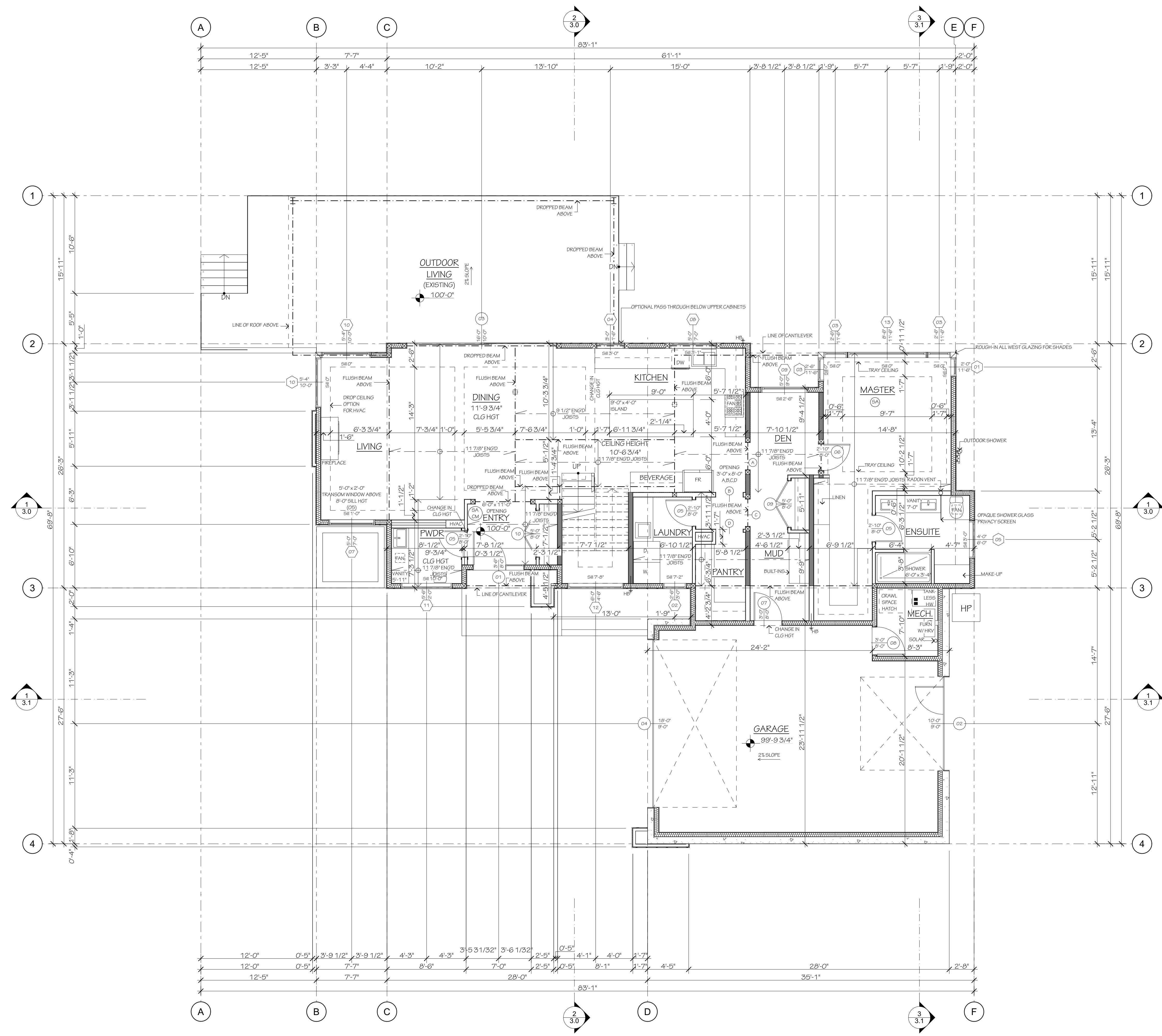
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MAIN FLOOR PLAN

1.2

SHEET 5 OF 12



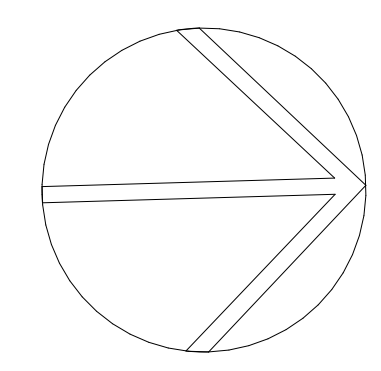
WALL ASSEMBLIES

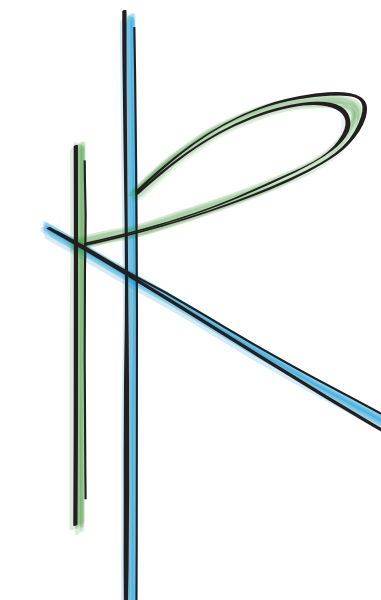
- TYPICAL EXTERIOR WALL CLADDING WEATHER BARRIER 3/8" SHEATHING 2x6 STUD WALL BATT INSULATION VAPOUR/AIR BARRIER 1/2" GYPSUM BOARD
- FROST WALL 6" CONCRETE WALL 1" AIR SPACE 2x6 STUD WALL BATT INSULATION VAPOUR/AIR BARRIER 1/2" GYPSUM BOARD
- GARAGE WALL 1/2" GYPSUM BOARD 2x6 STUD WALL BATT INSULATION AIR/VAPOUR BARRIER 1/2" GYPSUM BOARD
- STONE COLUMN FEATURE STONE WEATHER BARRIER 3/8" SHEATHING 2x4 STUD WALL
- TYPICAL INTERIOR WALL 1/2" GYPSUM BOARD 2x4 STUD WALL 1/2" GYPSUM BOARD
- 2X6 WALL 1/2" GYPSUM BOARD 2x6 STUD WALL 1/2" GYPSUM BOARD
- LOAD BEARING INTERIOR WALL 1/2" GYPSUM BOARD 2x6 STUD WALL 1/2" GYPSUM BOARD

1 MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

MAIN FLOOR AREA: 1,848.1 sq ft
GARAGE AREA: 741.5 sq ft
OUTDOOR LIVING AREA: 673.9 sq ft





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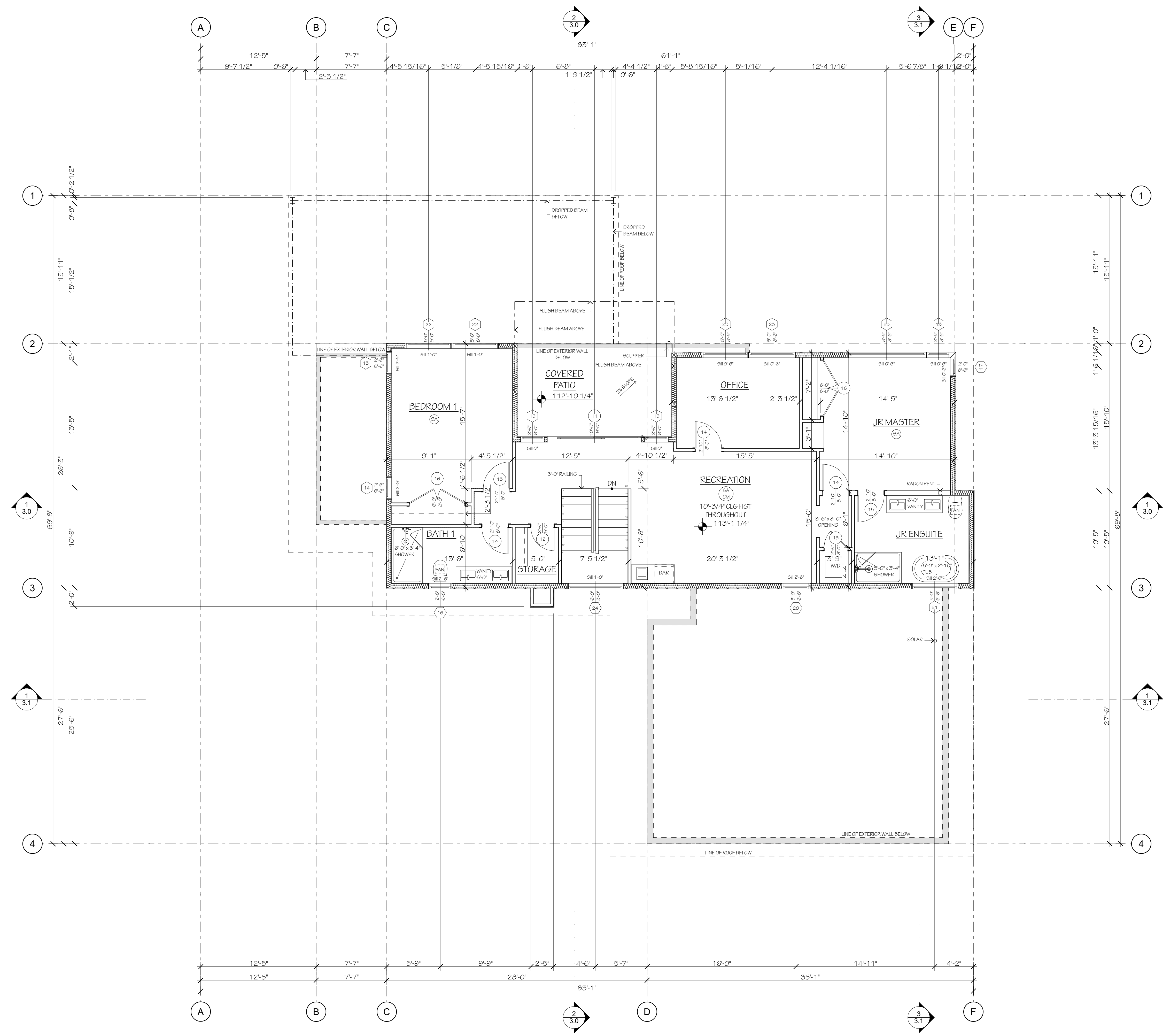
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UPPER FLOOR PLAN

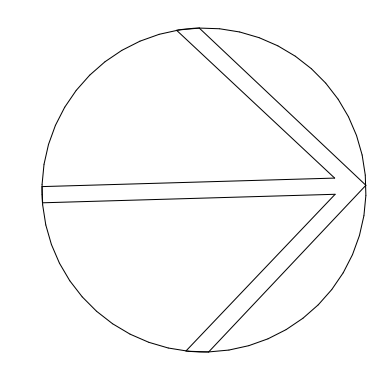
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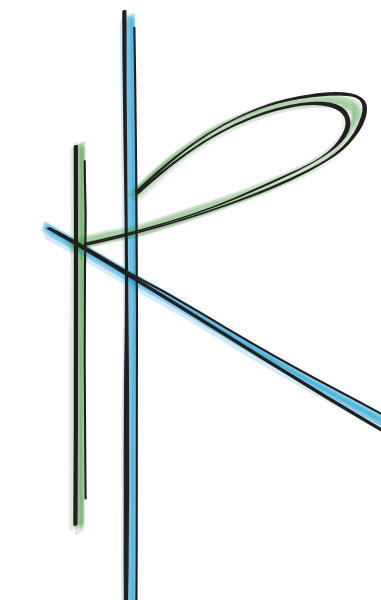
SHEET 6 OF 12



1 UPPER FLOOR PLAN
SCALE: 3/16" = 1'-0"

UPPER FLOOR AREA: 1,425.8 sq ft
COVERED DECK AREA: 168.06 sq ft





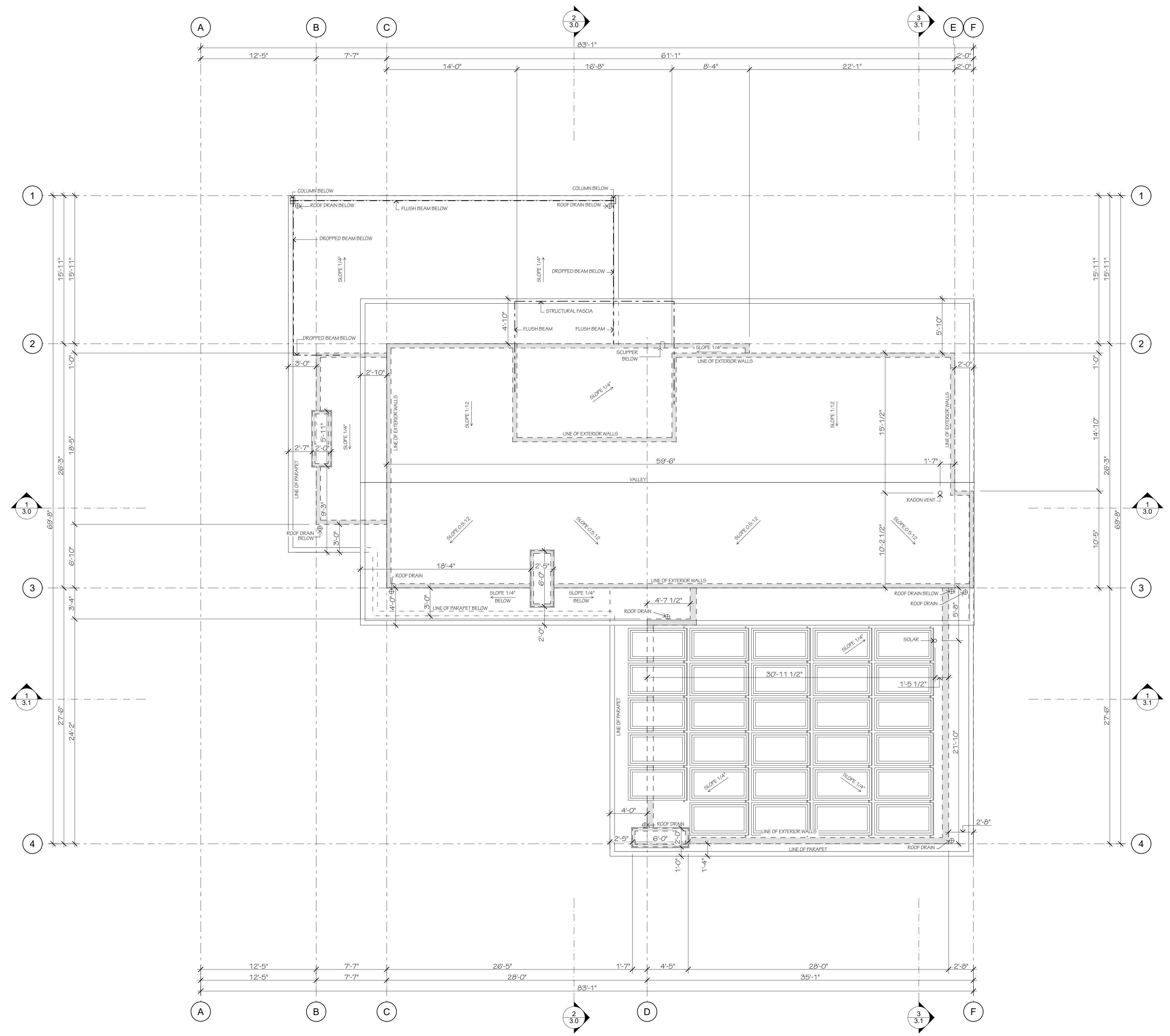
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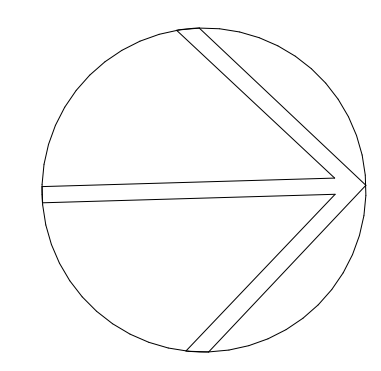
ROOF PLAN

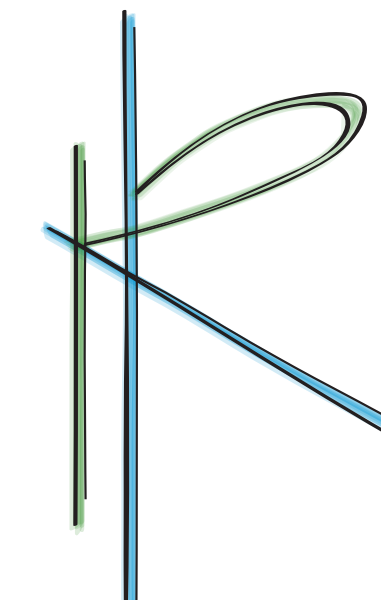


1 ROOF PLAN
SCALE: 3/16" = 1'-0"

ALL DRAINAGE PATHS AND DRAINS MUST BE REVIEWED BY CONTRACTOR AND TRUSS MANUFACTURER AND CONSTRUCTED BASED ON BEST ROOF PRACTICES AND DRAINAGE REQUIREMENTS.

TRUSS DESIGNER TO CONTACT UPRISE DESIGN AND DRAFTING INC. IF CHANGES TO ROOF DESIGN ARE REQUIRED.





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ELEVATIONS
2.0
SHEET 8 OF 12



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

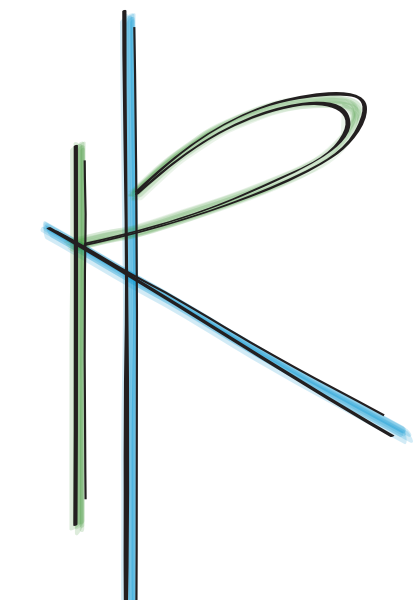
MATERIAL LEGEND

- A-- 1'-6" FASCIA (SEE DETAIL)
- B-- HARDIE PANEL SIDING
2'-6" x 4'-6" PANEL SIZE,
COLOUR MATCHED TO TRIM
- C-- LUX - 6" GROOVE
- D-- STONE
- E-- ACRYLIC STUCCO
- F-- DECORATIVE WALL LIGHT
- G-- DECORATIVE FEATURE, USE
FASCIA MATERIAL, PAINT BLACK
- H-- GLASS RAILING
- J-- 4" METAL CAP
- K-- STRUCTURAL CONCRETE
- L-- VENTED LUX SOFFIT
- M-- STEEL BEAM/COLUMN
- N-- BLACK SMART TRIM



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
TOTAL EBF = 155.9 M²
(1677.75 SQFT)
LIMITING DISTANCE = UNLIMITED
100% ALLOWED



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MATERIAL LEGEND

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- B-- HARDIE PANEL SIDING
2'-6" x 4'-6" PANEL SIZE,
COLOUR MATCHED TO TRIM
- C-- LUX - 6" GROOVE
- D-- STONE
- E-- ACRYLIC STUCCO
- F-- DECORATIVE WALL LIGHT
- G-- DECORATIVE FEATURE, USE
FASCIA MATERIAL, PAINT BLACK
- H-- GLASS RAILING
- J-- 4" METAL CAP
- K-- STRUCTURAL CONCRETE
- L-- VENTED LUX SOFFIT
- M-- STEEL BEAM/COLUMN
- N-- BLACK SMART TRIM

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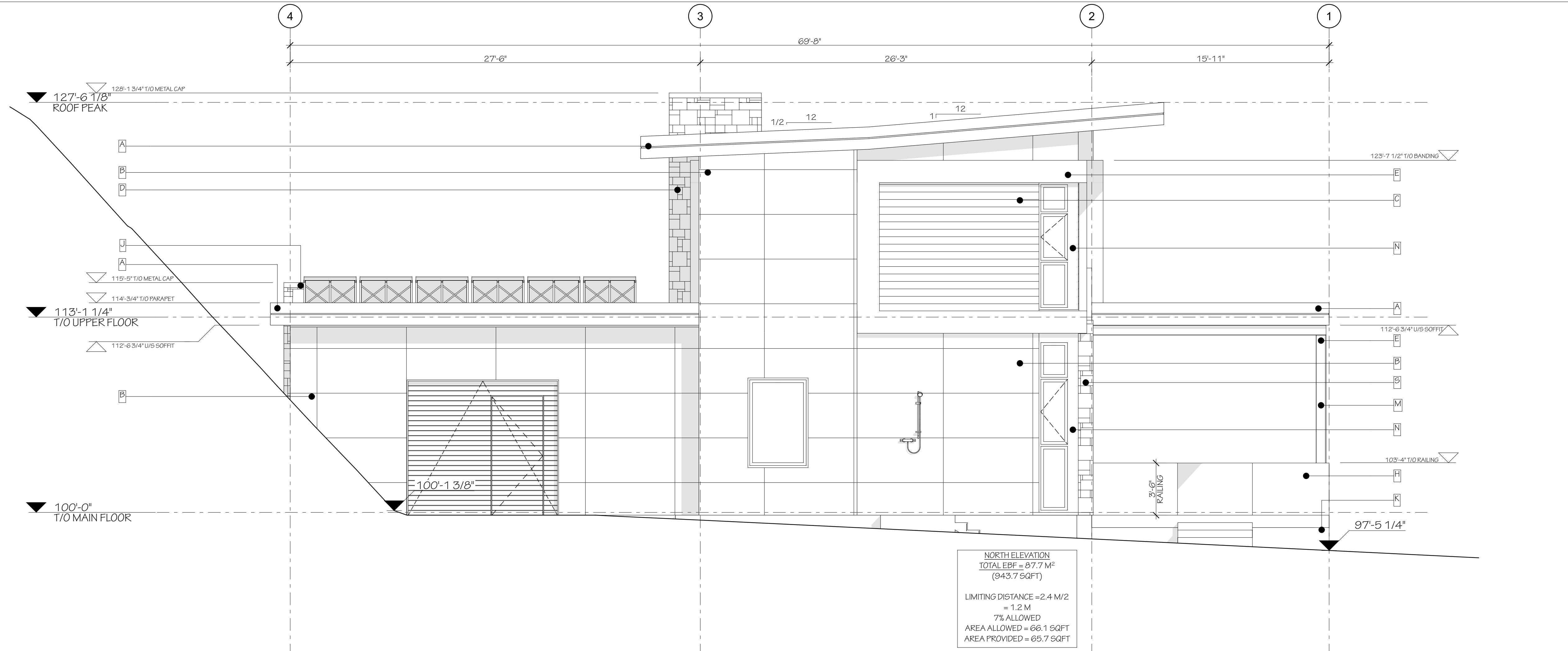
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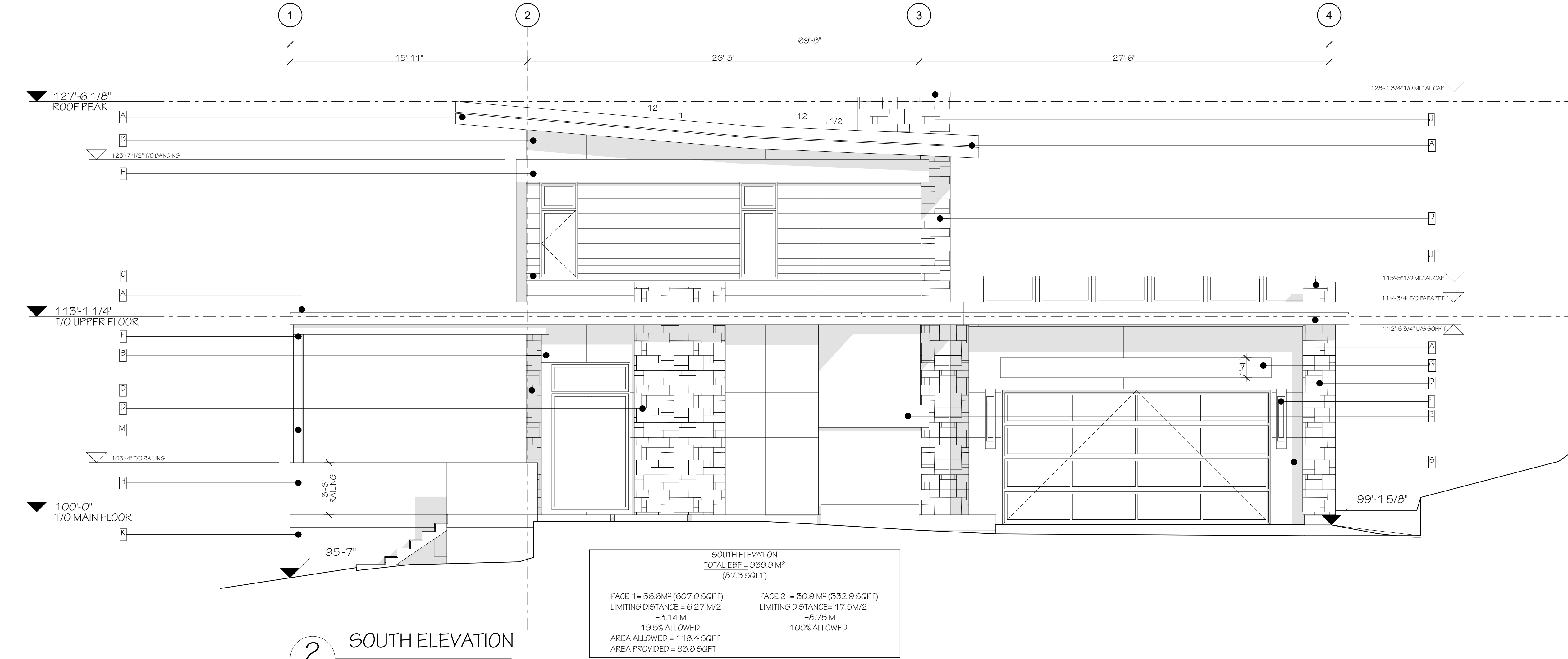
ELEVATIONS

2.1

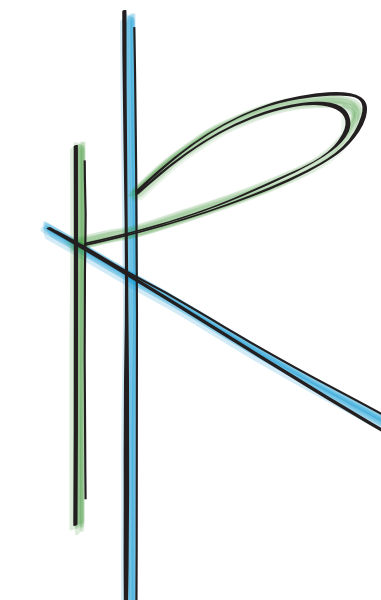
SHEET 9 OF 12



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

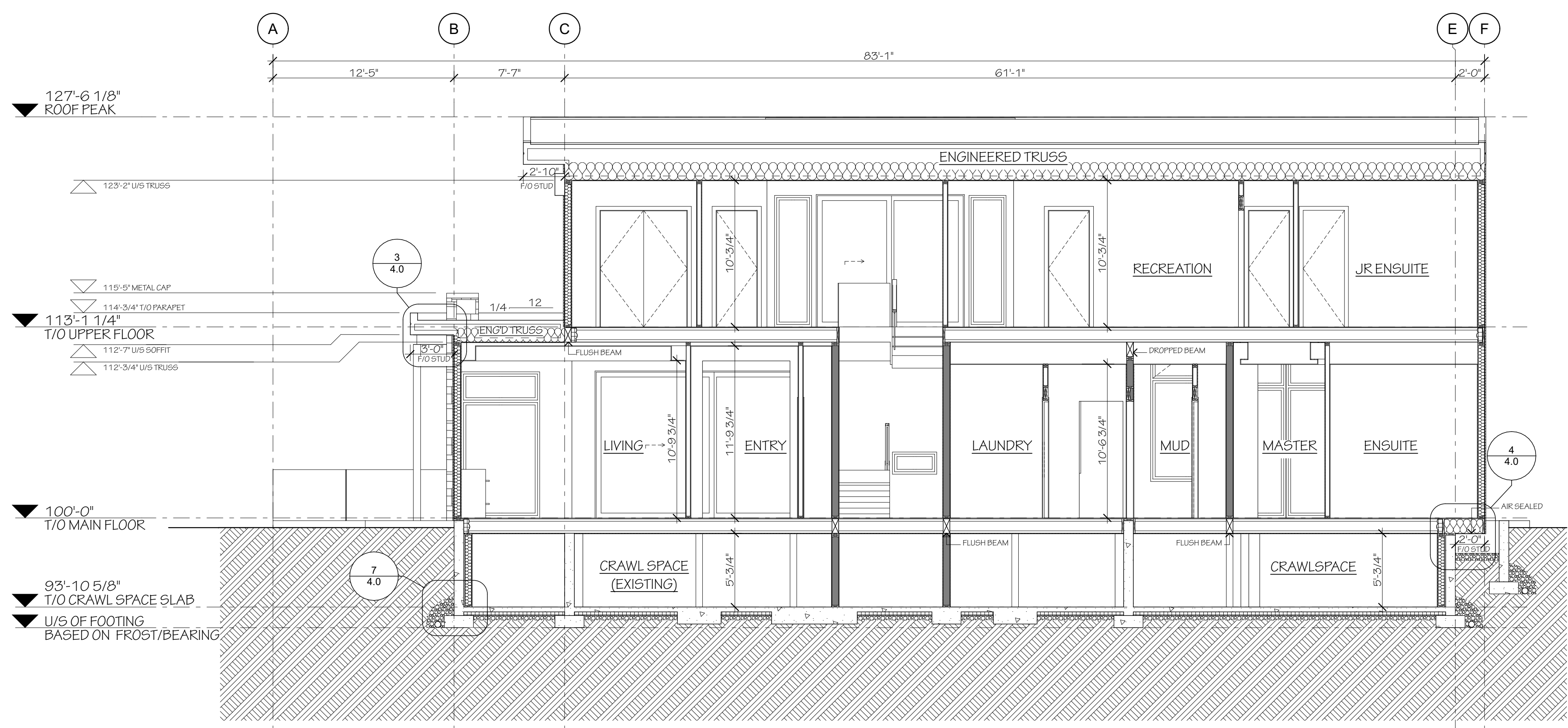


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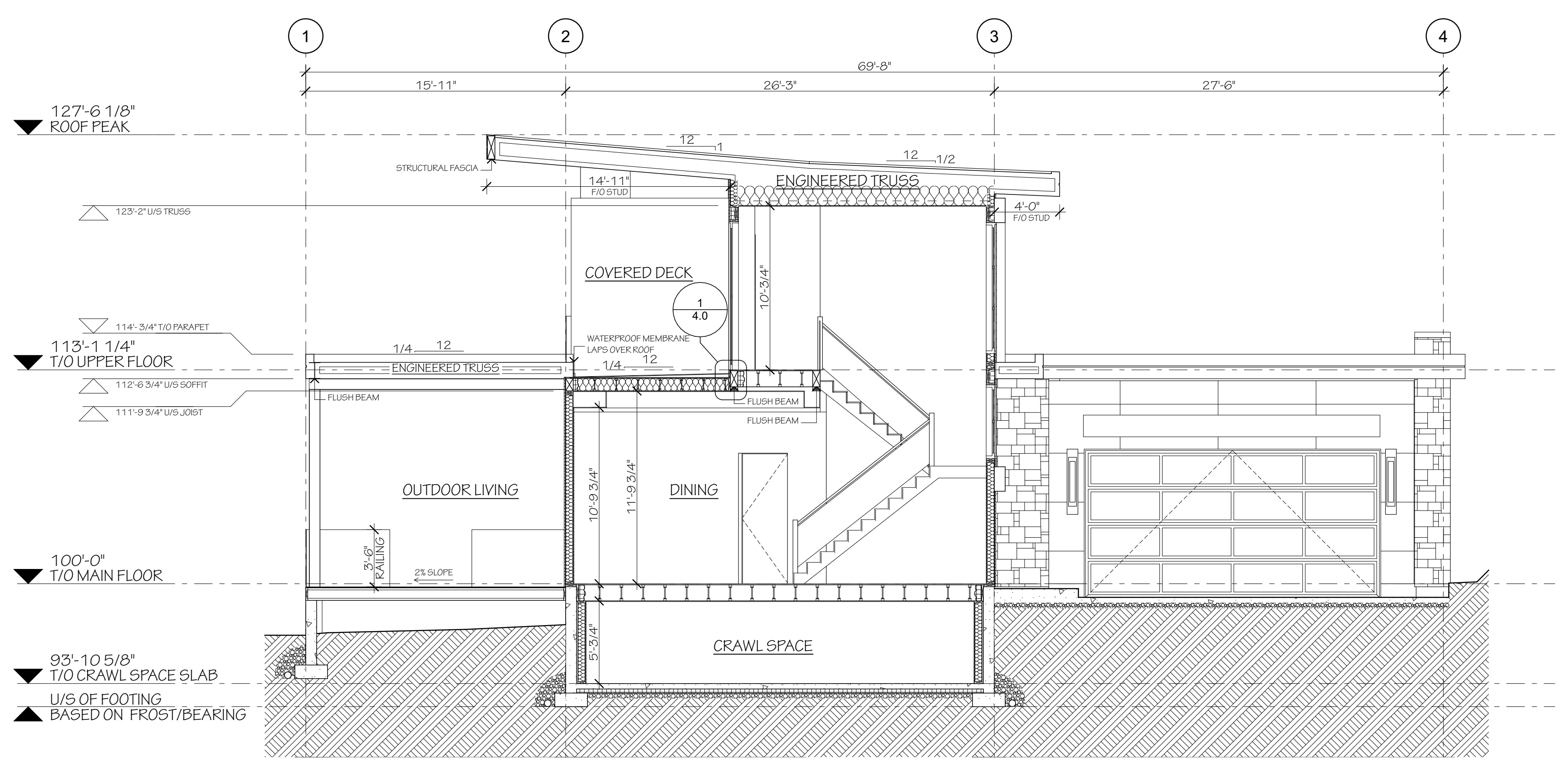
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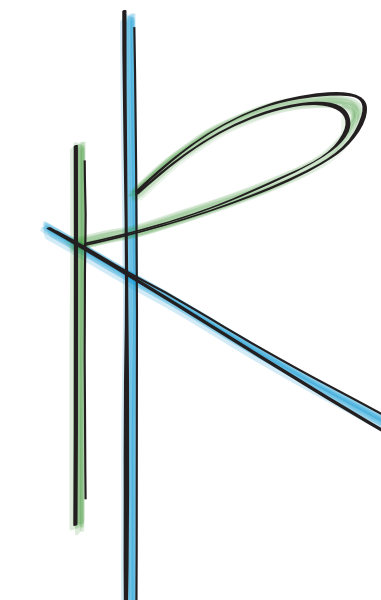
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2 SECTION
SCALE: 3/16" = 1'-0"

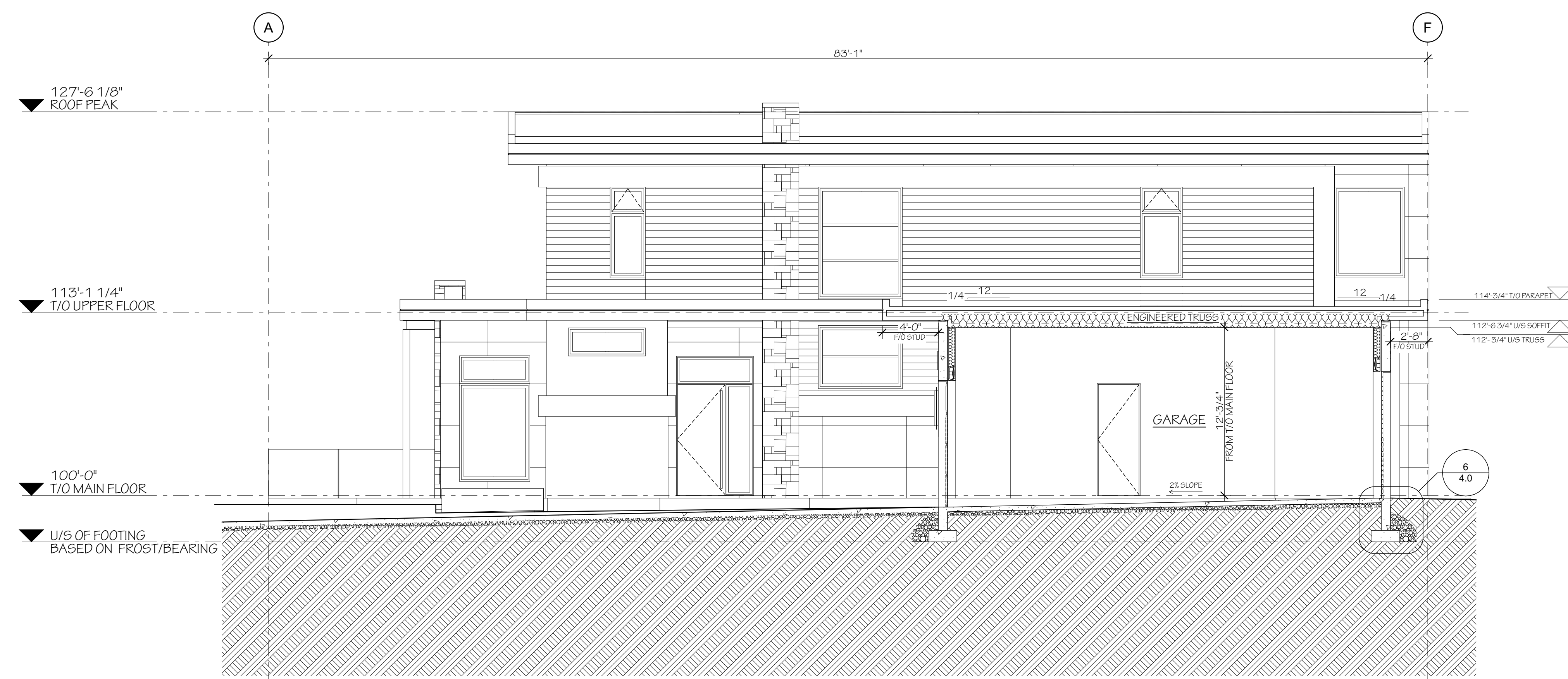
SECTIONS + DETAILS

3.0

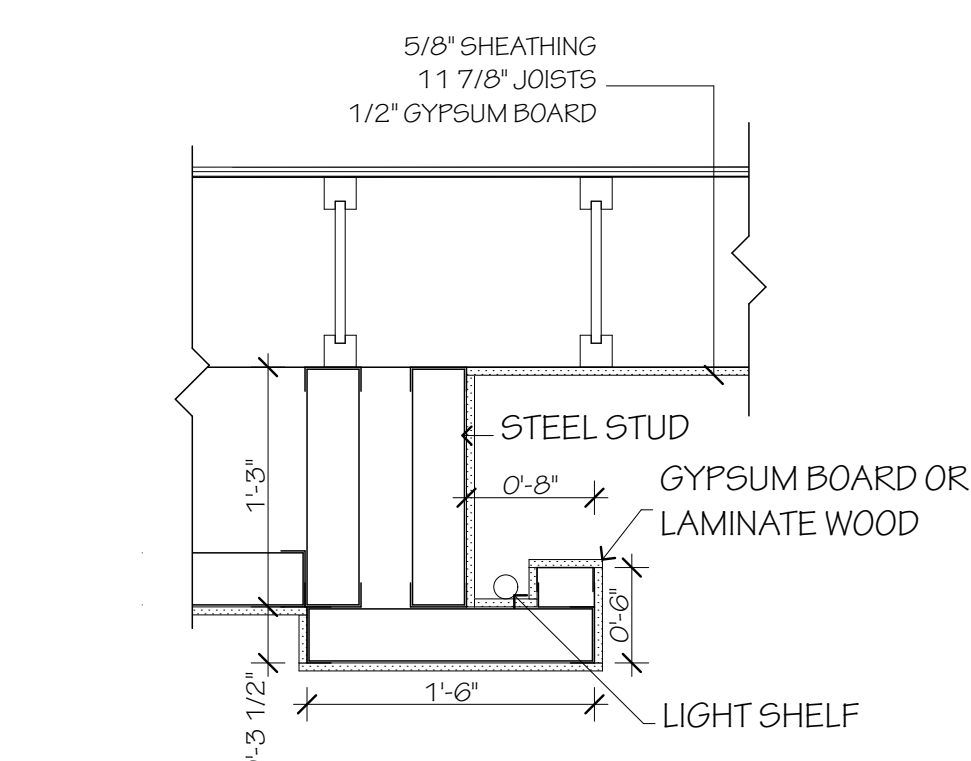


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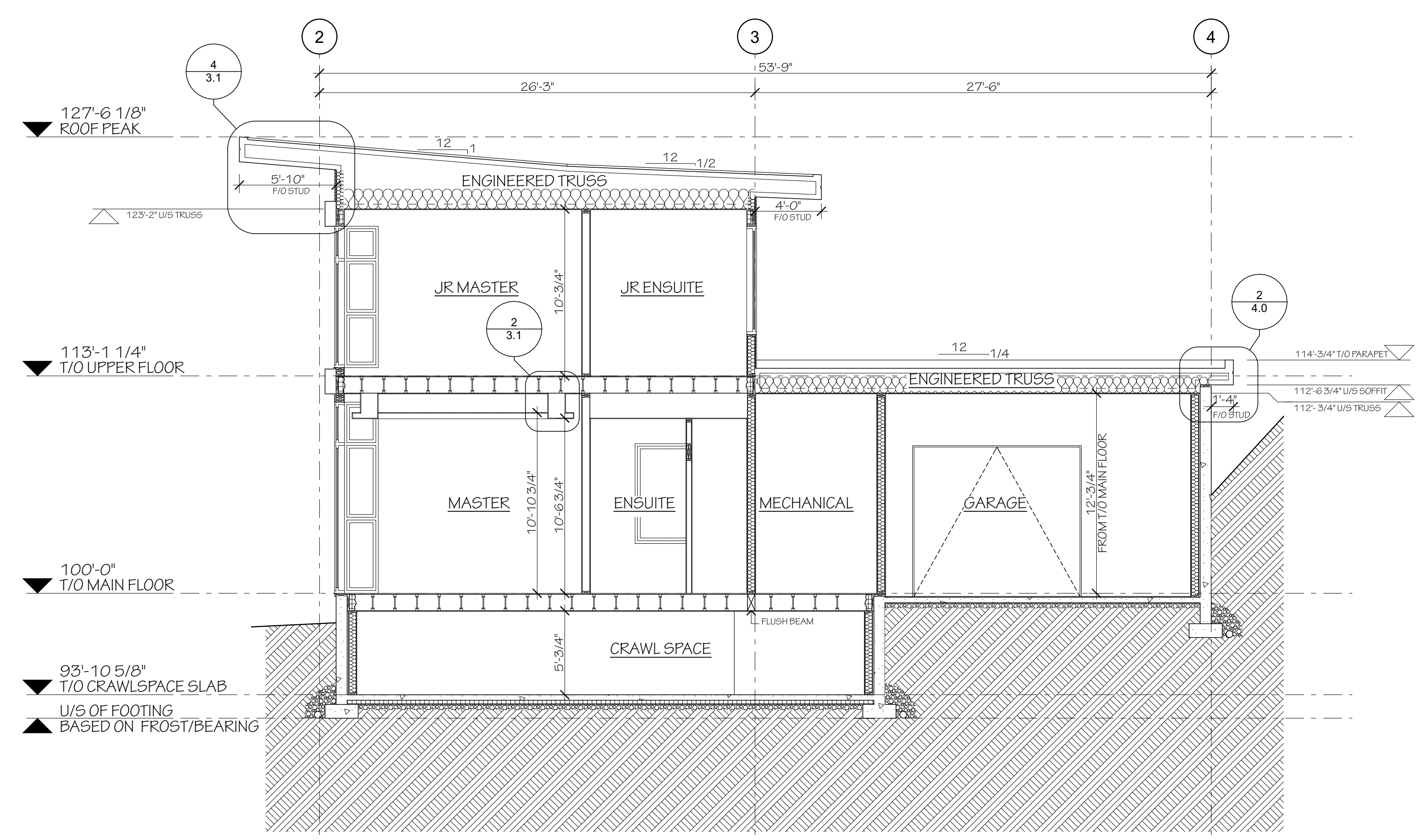
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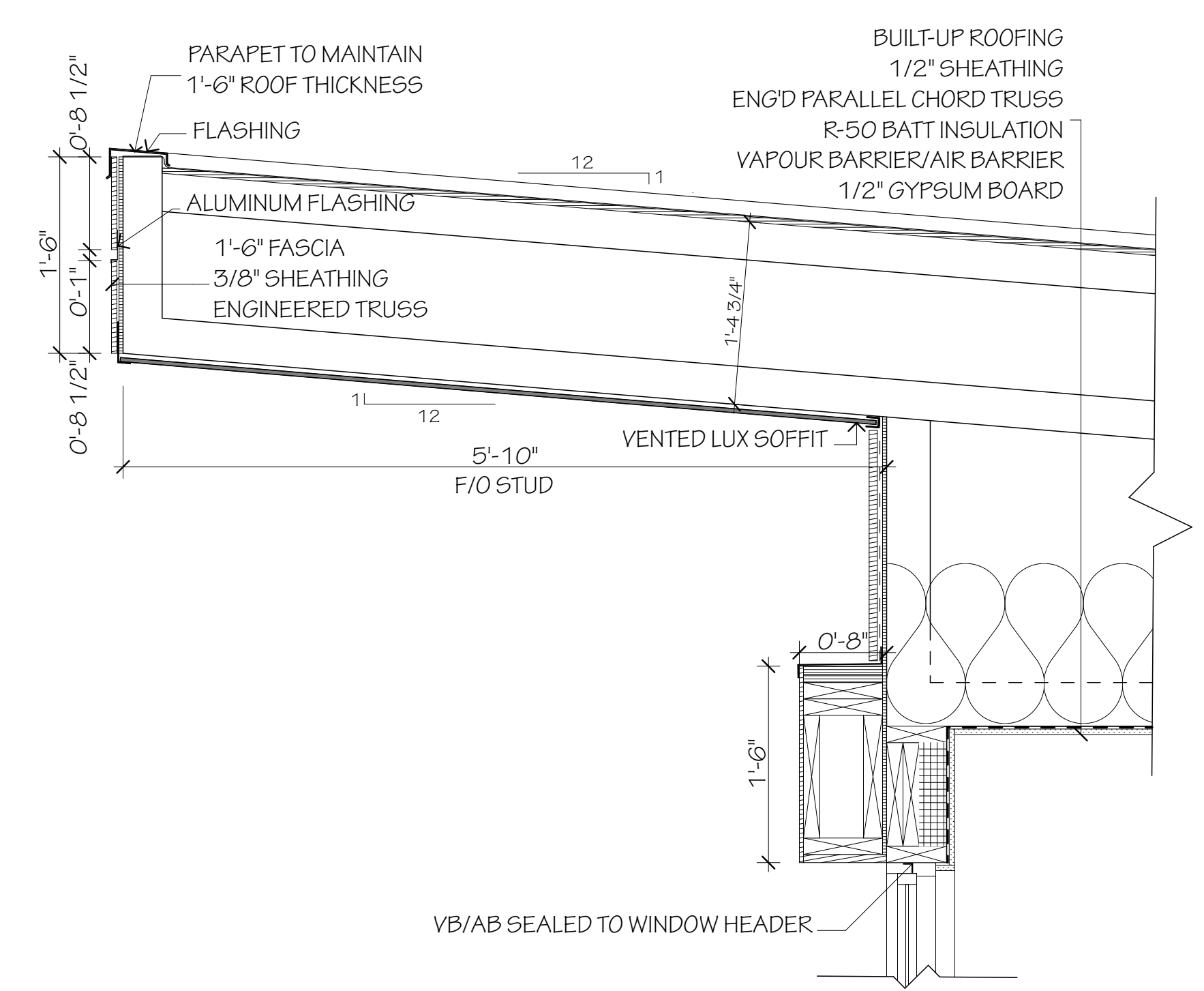
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SCALE: 3/16" = 1'-0"



2 CEILING DETAIL
SCALE: 1" = 1'-0"



3 SECTION
SCALE: 3/16" = 1'-0"



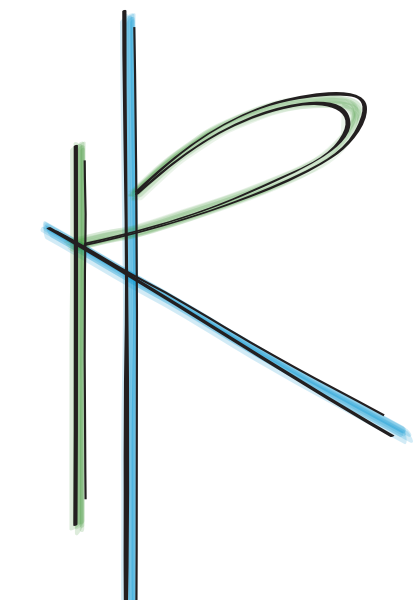
4 SHED ROOF + BUMPOUT TYP.
SCALE: 1" = 1'-0"

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3.1

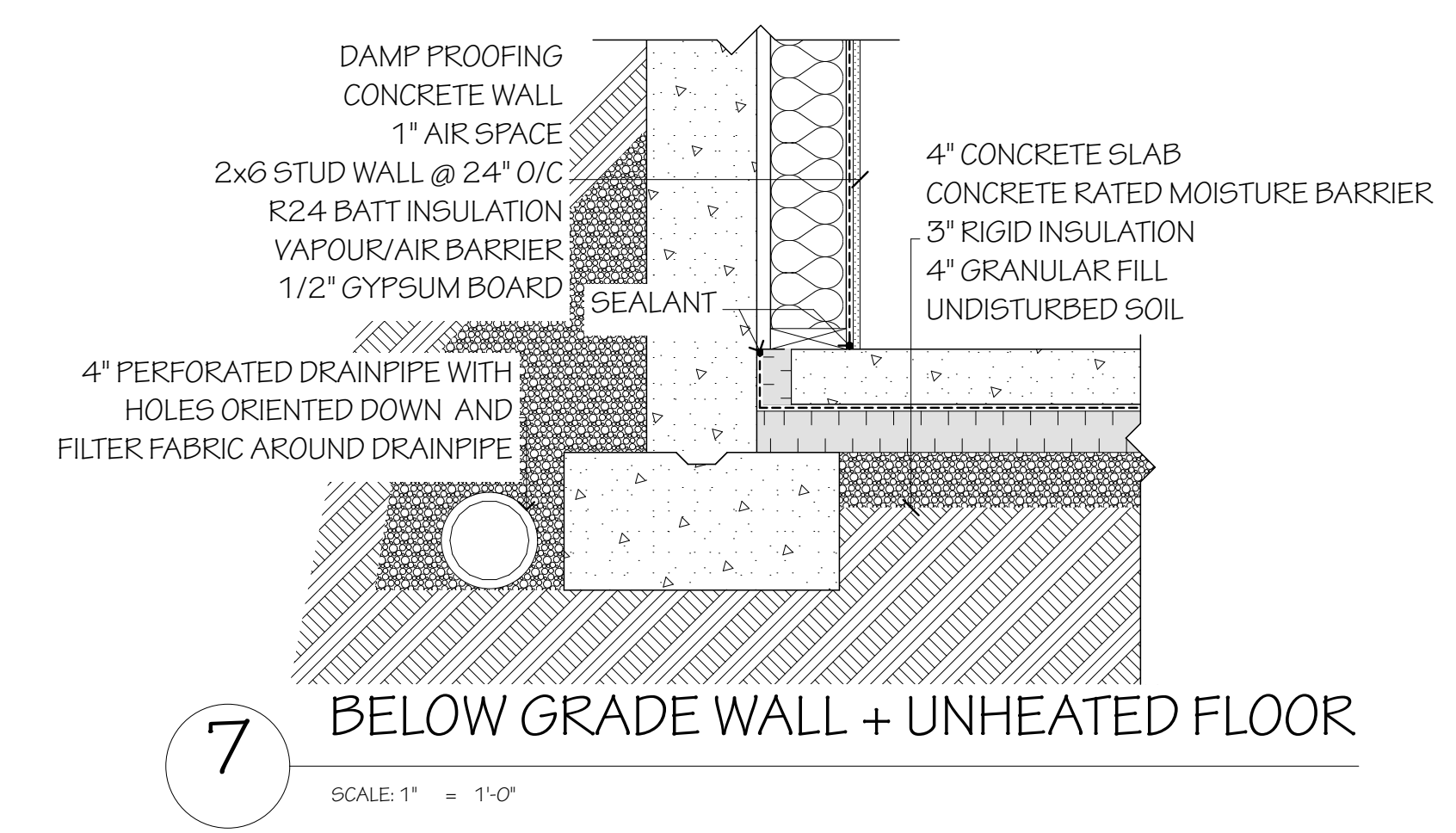
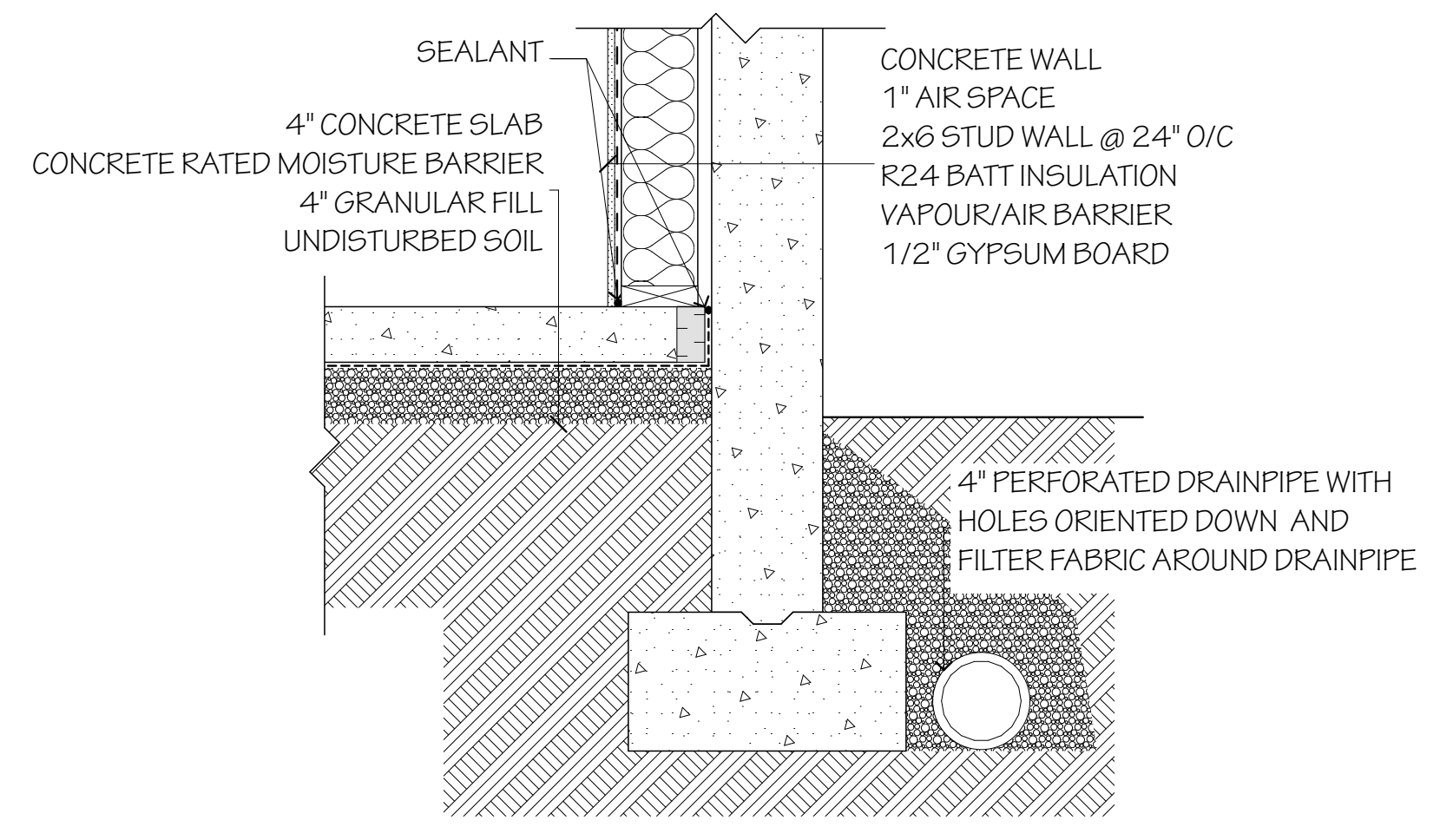
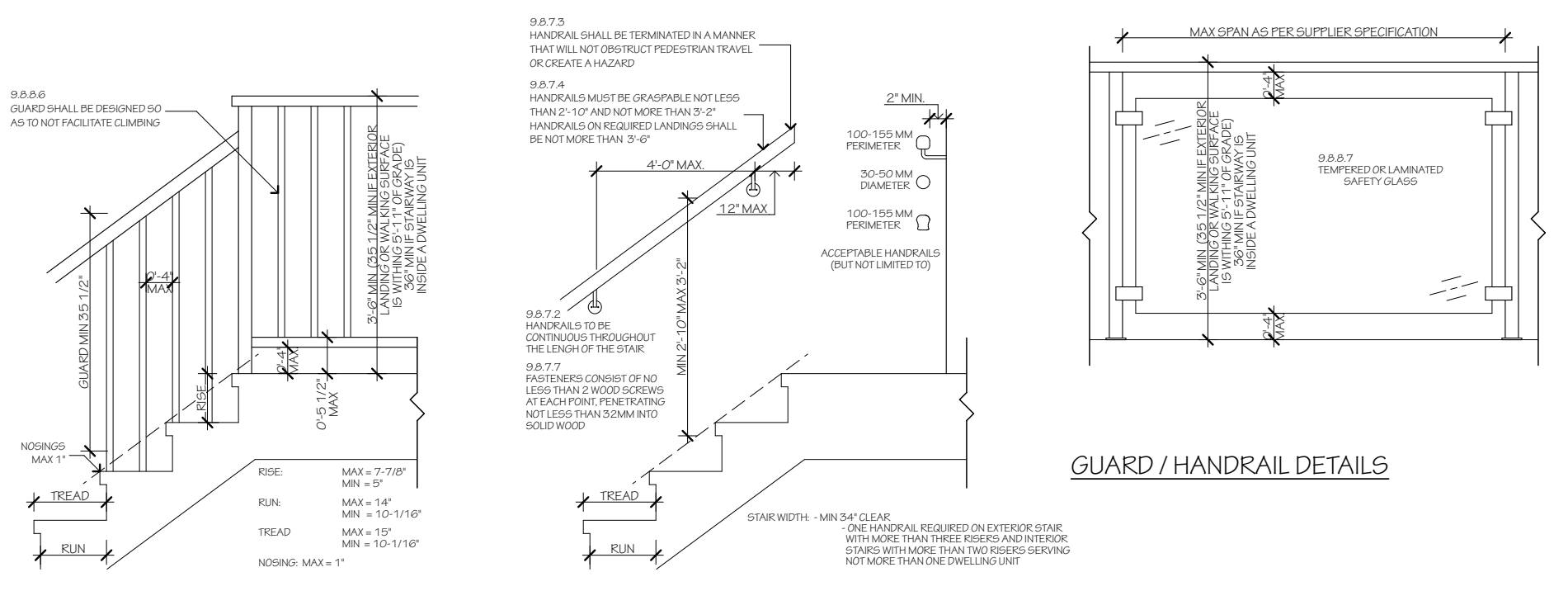
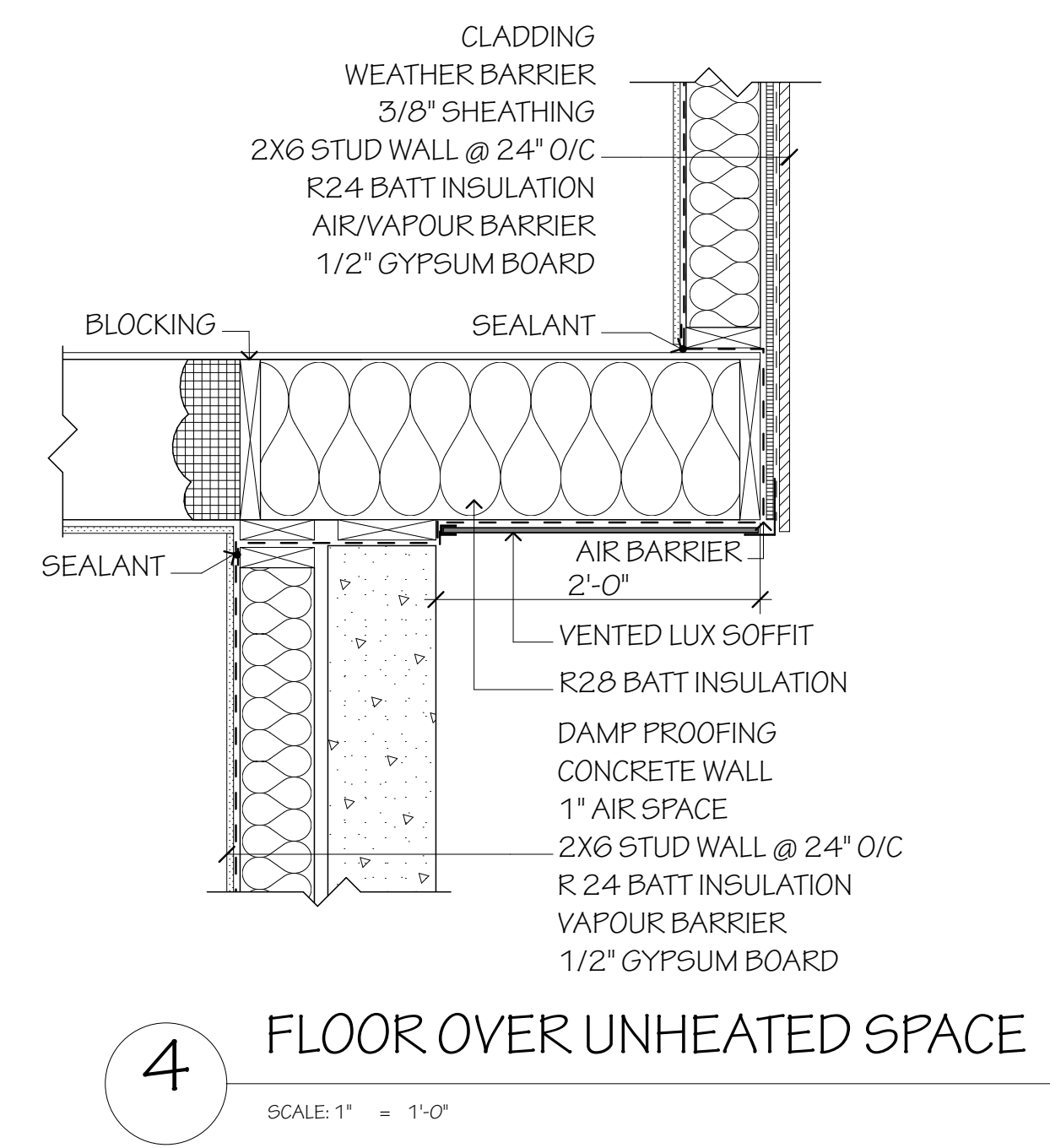
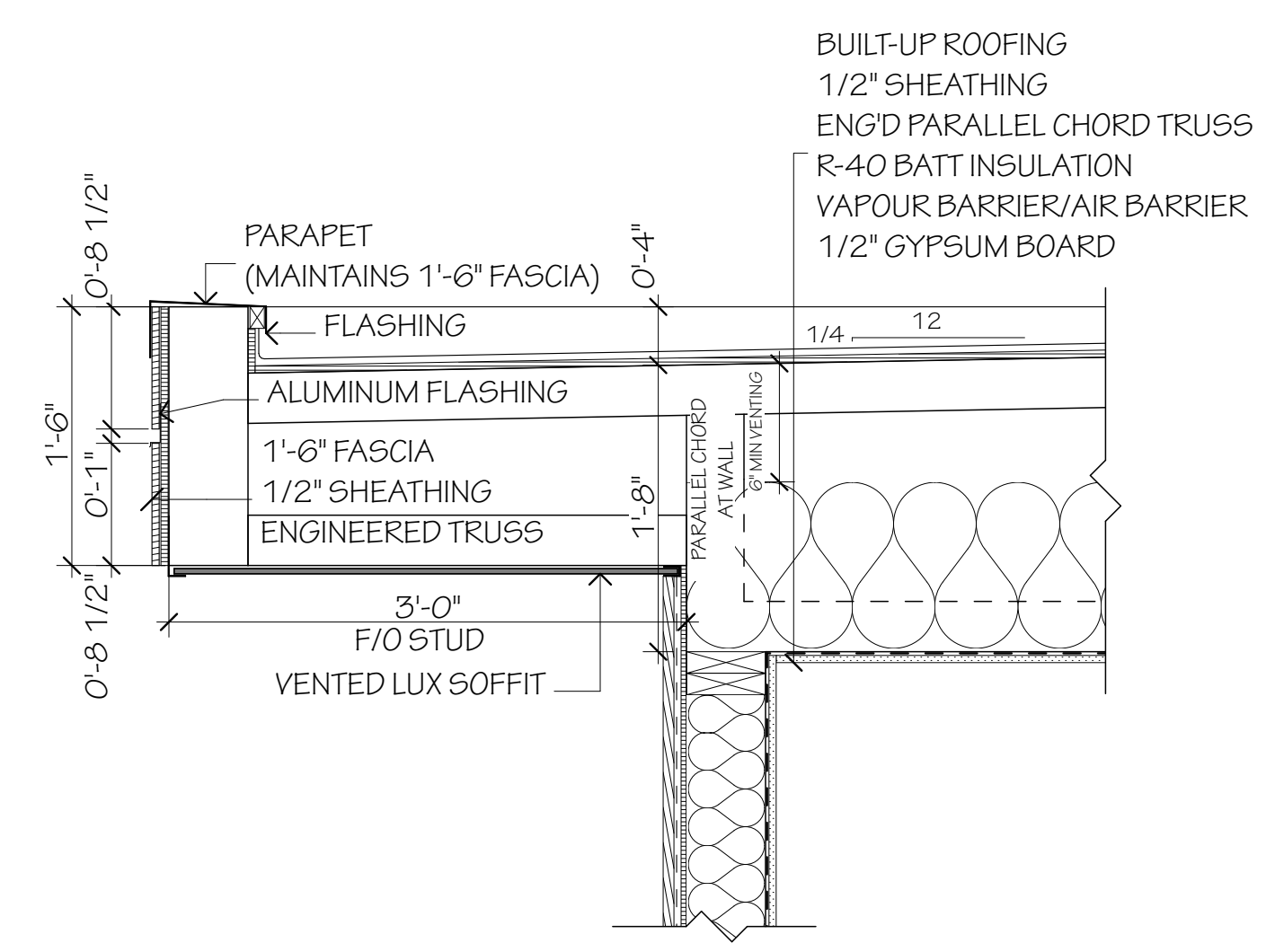
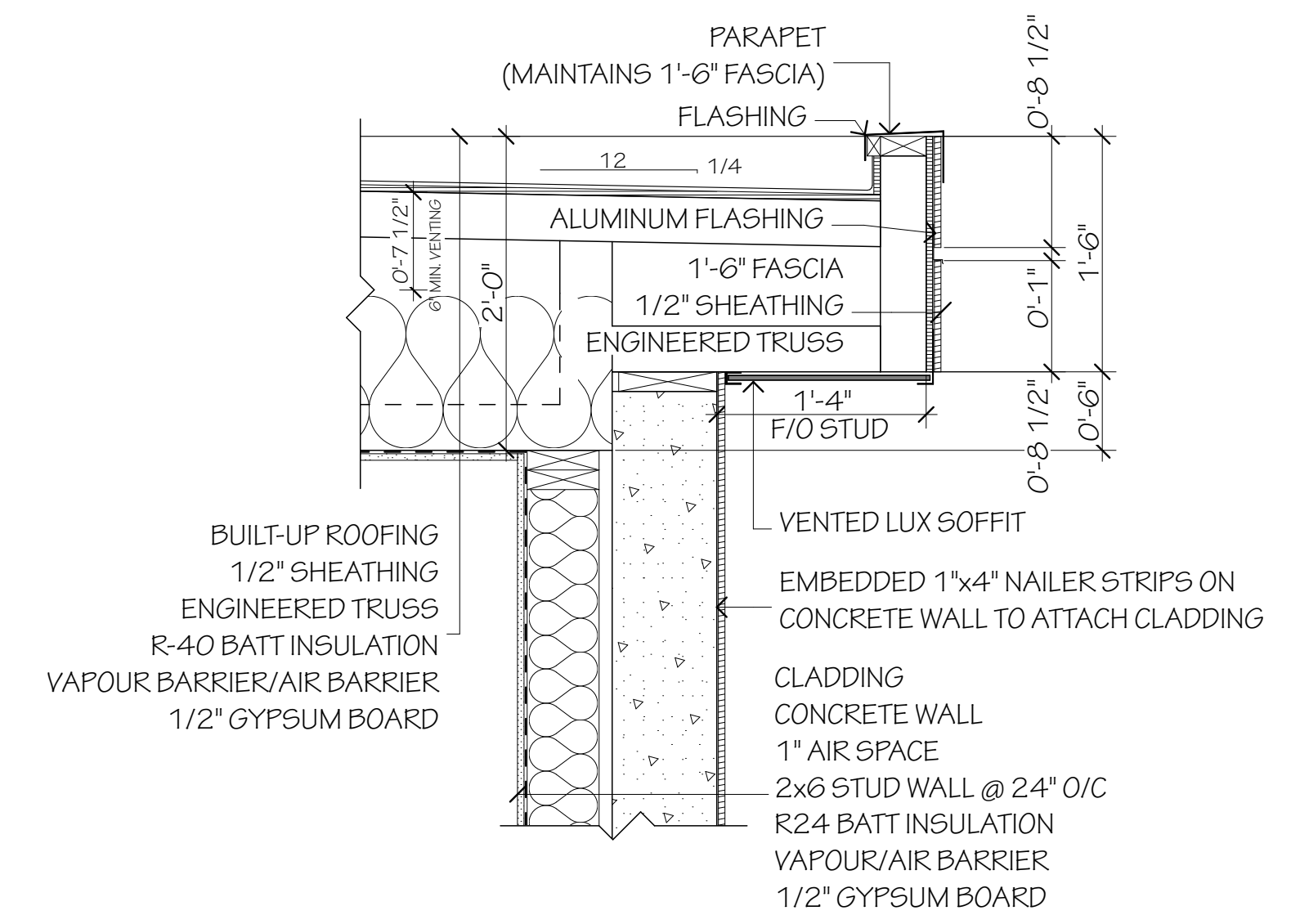
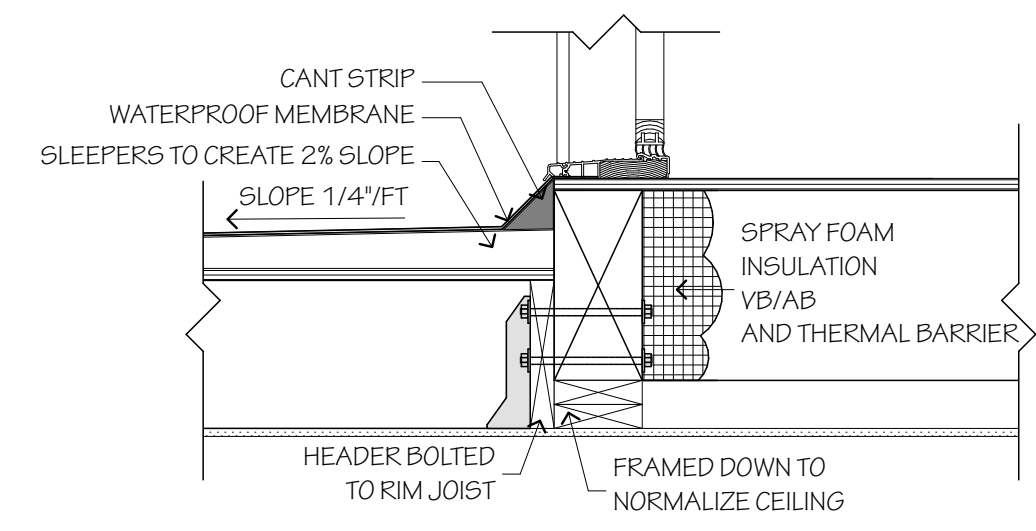


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1809 LAKESTONE DRIVE
WEYAND RESIDENCE
DATE: OCTOBER 20, 2021
SCALE: AS NOTED

DOOR SCHEDULE (TO BE FINALIZED BY CLIENT IN COORDINATION WITH DOOR SUPPLIERS)						
HOME STORY	ID	DOOR		QUANTITY	ORIENTATION	TYPE
		W	HT			
MAIN FLOOR, Exterior						
	01	3'-6"	8'-0"	FULL PANEL W/ 2' SIDELITE + 5'-6" x 2'-0" TRANSOM	1	LEFT SWING DOOR
	02	10'-0"	9'-0"	OPAQUE GLASS PANELS - EMBEDDED MANDOOK	1	LEFT GARAGE DOOR
	03	16'-0"	10'-0"	2 FULL PANELS	1	RIGHT SLIDING DOOR
	04	18'-0"	9'-0"	OPAQUE GLASS PANELS	1	LEFT GARAGE DOOR
MAIN FLOOR, Interior						
	05	2'-10"	8'-0"		3	RIGHT SWING DOOR
	06	2'-10"	8'-0"		1	LEFT SWING DOOR
	07	3'-0"	8'-0"		1	LEFT CO SEALED, SELF CLOSING, SWING DOOR
	08	3'-0"	8'-0"		1	RIGHT SWING DOOR
	09	5'-0"	8'-0"		1	DOUBLE SWING DOOR
	10	5'-0"	8'-0"		1	DOUBLE SWING DOOR
UPPER, Exterior						
	11	10'-0"	9'-0"	2 FULL PANELS	1	RIGHT SLIDING DOOR
UPPER, Interior						
	12	2'-6"	8'-0"		1	LEFT SWING DOOR
	13	2'-6"	8'-0"		1	RIGHT REVERSE SWING DOOR
	14	2'-10"	8'-0"		3	LEFT SWING DOOR
	15	2'-10"	8'-0"		2	RIGHT SWING DOOR
	16	6'-0"	8'-0"		2	DOUBLE SWING DOOR

WINDOW SCHEDULE (TO BE FINALIZED BY CLIENT IN COORDINATION WITH WINDOW SUPPLIERS)						
HOME STORY	ID	SIZE		QUANTITY	TYPE	LOCATION
		WIDTH	HEIGHT			
MAIN FLOOR						
	01	2'-0"	11'-6"	1	AWNING/CASEMENT COMBO	MASTER
	02	2'-6"	3'-0"	1	FIXED	LAUNDRY
	03	2'-6"	11'-6"	3	FIXED	MASTER
	04	3'-0"	1'-6"	1	SLIDER	KITCHEN
	05	4'-0"	6'-0"	1	FIXED	ENSUITE
	06	5'-0"	2'-0"	1	FIXED	LIVING
	07	5'-0"	7'-0"	1	FIXED	LIVING
	08	5'-0"	7'-0"	1	SINGLE HUNG	KITCHEN
	09	5'-0"	9'-0"	1	FIXED	DEN
	10	5'-4"	10'-0"	2	FIXED	LIVING
	11	5'-6"	2'-0"	1	FIXED	POWDER
	12	6'-0"	4'-6"	1	FIXED	STAIRWELL
	13	8'-6"	11'-6"	1	FIXED	MASTER
UPPER						
	14	2'-6"	6'-6"	1	CASEMENT COMBINATION	BEDROOM 1
	15	2'-6"	6'-6"	1	CASEMENT COMBINATION	BEDROOM 1
	16	2'-6"	6'-6"	1	FIXED	BATHROOM 1
	17	2'-0"	8'-6"	1	AWNING COMBINATION	JR MASTER
	18	2'-6"	8'-6"	1	AWNING COMBINATION	JR MASTER
	19	2'-6"	9'-0"	2	FIXED	RECREATION
	20	3'-0"	6'-6"	1	AWNING COMBINATION	RECREATION
	21	5'-0"	6'-6"	1	FIXED	JR ENSUITE
	22	5'-0"	8'-0"	2	FIXED	BEDROOM 1
	23	5'-0"	8'-6"	2	FIXED	OFFICE
	24	6'-0"	8'-0"	1	FIXED	STAIRWELL
	25	8'-6"	8'-6"	1	FIXED	JR MASTER



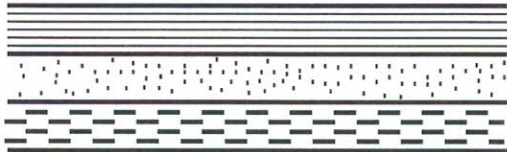
GENERAL NOTES

- ALL PLANS AND DIMENSIONS MUST BE REVIEWED BY CONTRACTOR BEFORE CONSTRUCTION AND MUST VERIFY ANY DISCREPANCIES BETWEEN THE DRAWING AND EXISTING CONDITIONS PRIOR TO WORK BEING DONE.
- CONTRACTOR MUST COMPLY WITH ALL CURRENT BUILDING CODES, BY-LAWS AND REGULATIONS.
- THESE PLANS ARE FOR A SINGLE PROJECT AND THE COPYRIGHT BELONGS TO UPRISE DESIGN + DRAFTING INC. THE DESIGN MUST NOT BE COPIED AND THESE DRAWINGS MUST NOT BE DUPLICATED BY ANY PERSONS.

REVISIONS		
#	DATE	DESCRIPTION
3	10/20/2021	ISSUED FOR BUILDING PERMIT
2	12/01/2020	SOLAR PANEL REVISION
1	09/18/2020	ISSUED FOR BUILDING PERMIT

SCHEDULES + DETAILS

4.0



Schedule C

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1809 Lakestone Dr. – Lake Country BC

1. Onsite drainage trench as shown will be 3 feet deep, filled with drain rock, and covered by heavy black filter cloth
2. Rooftop downspouts will be collected in solid PVC drain pipe and directed to the drainage trench and drywell/rockpit located as shown
3. Perforated PVC drains at footing level will be surrounded by drain rock, covered with heavy black filter cloth, and directed by solid piping in separate piping to drywell/rockpit
4. The southeast side of the subject property is in a noted flow corridor which has the potential to channel significant volumes of water during severe weather events or infrastructure failure. In order to protect the property from such events an onsite 3 foot retaining wall to be constructed along east-onsite drainage, backside of the wall to be backfilled with drain rock and covered with heavy black filter cloth. Collected water will be directed within drainrock by perforated pvc pipe and ultimately by solid pvc pipe into drywell/rockpit.
5. The DoLC is currently in process of design and securing a ROW for a drainage corridor to alleviate this flow the drainage corridor to be installed by the DoLC on the southern property line of the subject property. To ensure maximum protection for the subject property suggest overflow pipe from subject property drywell connected to the drainage corridor with backflow preventer installed.

