



## Development Permit

District of Lake Country  
 10150 Bottom Wood Lake Road  
 Lake Country, BC V4V 2M1  
 t: 250-766-6674 f: 250-766-0200  
 lakecountry.bc.ca

### APPROVED ISSUANCE OF DEVELOPMENT PERMIT *(pursuant to Sec. 488 of the Local Government Act)*

PERMIT #	DP001093 (DP2020-033-C)
FOLIO #	1807002
ZONING DESIGNATION:	Tourist Commercial (C9) / Agriculture (A1) / Recreational Water Use (W1)
DEVELOPMENT PERMIT AREA:	Agriculture and Multiple -Unit Development Permit Areas
ISSUED TO:	Cantiro Owl's Nest GP Ltd., Inc. No. BC1139611
CIVIC ADDRESS:	4111 Evans Road
LEGAL DESCRIPTION:	Lot A, Sections 11 and 14, Township 14, ODYD, Plan EPP103404
PARCEL IDENTIFIER:	031-188-371

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below. Applicants for Development Permits should be aware that the issuance of a Permit limits the applicant to be in strict compliance with all District bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions, and which have not been identified as required Variances by the applicant or Municipal staff.

If any term or condition of this permit is for any reason held to be invalid by a decision of a Court of competent jurisdiction, such decision will not affect the validity of the remaining portions of this permit.

### 1. TERMS AND CONDITIONS

Development Permit DP001093 (DP2020-033-C) for 4111 Evans Rd, legally described as Lot A Sections 11 and 14 Township 14 ODYD Plan EPP103404 (Roll 1807002), for a resort strata development, is hereby amended and is subject to the following conditions:

- (a) The development of the subject property shall be conducted substantially in accordance with the following documents, to the satisfaction of the Director of Planning & Development:
  - (i) **Schedule A:** Site Plan prepared by Urban System;
  - (ii) **Schedule B:** Building Elevations and Materials by GEC Architecture / CANTIRO;
  - (iii) **Schedule C:** Landscape Plan and Cost Estimate prepared by Urban Systems; and
  - (iv) **Schedule D:** three-tiered retaining wall system with 1.4:1 slopes

- (b) The development of the subject property shall be conducted in accordance with the following terms, to the satisfaction of the Director of Planning & Development:
- (i) A maximum of 38 units is permitted, as presented on the Schedule A drawing approved by Council 2023 and issued on December 15, 2023. The site plan may be adjusted by the removal of units, retaining the general layout of units, parking, internal circulation (driveways and paths), landscaping and amenities, to accommodate required changes to obtain an acceptable access, fire staging, or other requirements rising from detailed site design. No additional units are permitted.
  - (ii) No parking is permitted in the drive aisle or the staging area. "No parking" signs shall be posted.
  - (iii) The proposed dock structure does not form part of this Development Permit.
  - (iv) All units are to be constructed to BC Energy Step Code 5.
  - (v) Density Bonusing is required for all apartment hotel structures in the Tourist Commercial (C9) Zone at a rate, per sq. metres of floor space created above the 3<sup>rd</sup> floor, as set out in the District Fees By-law 987,2016 as amended, prior to Building Permit issuance.
  - (vi) Restrictive Section 219 Right to Farm Covenant requiring ongoing retention and maintenance of the vegetative perimeter buffers and a disclosure statement to inform residents that they live within an active agriculture area to be placed on title prior to Building Permit issuance.
  - (vii) Okanagan Rail Trail crossing agreement to be signed prior to building permit issuance.
  - (viii) this Development Permit is only valid for the development that is described herein. If a change to development is considered, a new development permit or an amendment to this permit is required before starting any work.
- (c) If any archaeologically significant item is found during construction, activities must cease and the Province of British Columbia notified in conformity with the Heritage Conservation Act.
- (d) Development and use of the subject property shall be in compliance with the provisions of the Municipality's various bylaws, except as explicitly varied or supplemented by the terms of this permit, subsequent permits, amendment(s) and/or development variance permits.

## 2. DEVELOPMENT

The development described herein shall be undertaken strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached to shall form a part hereof.

The development shall commence within TWO YEARS of the date that this permit is issued.

If the Permit Holder does not substantially commence the development permitted by this Permit within TWO years of the date of issuance of this permit, this permit shall lapse.

The terms of the permit or any amendment to it are binding on all persons who acquire an interest in the land affected by the permit.

**THIS IS NOT A BUILDING PERMIT, SIGN  
PERMIT, OR A CERTIFICATE TO COMMENCE  
CONSTRUCTION**

**3. APPROVALS**

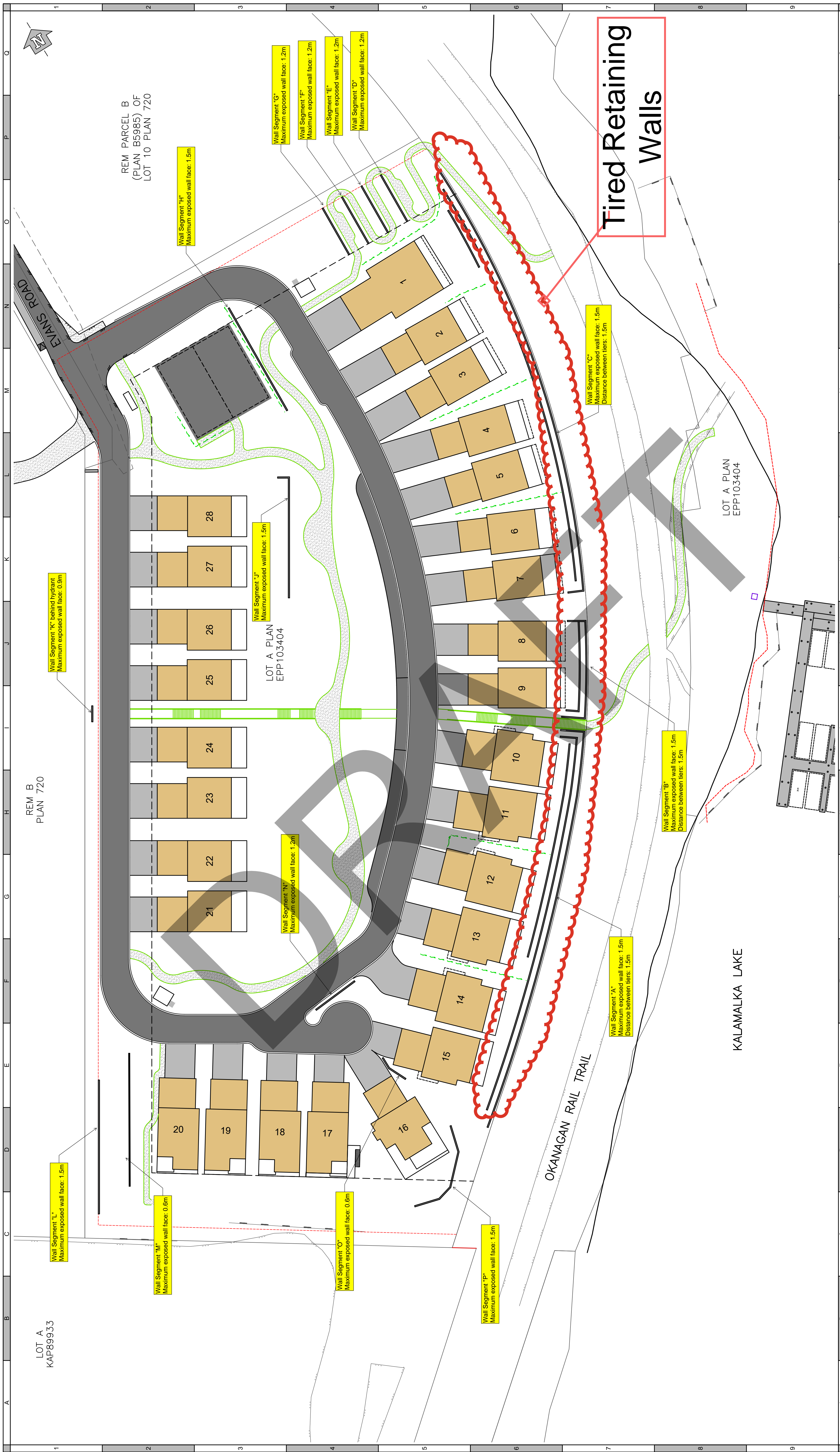
Authorization passed by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Issued by the Corporate Officer of the District of Lake Country this \_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Corporate Officer, Reyna Seabrook

DRAFT

# Schedule A - DP001093 - Site Plan



**Tired Retaining Walls**

REM PARCEL B  
(PLAN B5985) OF  
LOT 10 PLAN 720

REM B  
PLAN 720

LOT A  
KAP89933

LOT A PLAN  
EPP103404

LOT A PLAN  
EPP103404

KALAMALKA LAKE

OKANAGAN RAIL TRAIL

Wall Segment "K"  
Maximum exposed wall face: 0.9m

Wall Segment "L"  
Maximum exposed wall face: 1.5m

Wall Segment "M"  
Maximum exposed wall face: 0.6m

Wall Segment "H"  
Maximum exposed wall face: 1.5m

Wall Segment "J"  
Maximum exposed wall face: 1.5m

Wall Segment "N"  
Maximum exposed wall face: 1.2m

Wall Segment "G"  
Maximum exposed wall face: 1.2m

Wall Segment "F"  
Maximum exposed wall face: 1.2m

Wall Segment "E"  
Maximum exposed wall face: 1.2m

Wall Segment "D"  
Maximum exposed wall face: 1.2m

Wall Segment "P"  
Maximum exposed wall face: 1.5m

Wall Segment "A"  
Maximum exposed wall face: 1.5m  
Distance between tiers: 1.5m

Wall Segment "B"  
Maximum exposed wall face: 1.5m  
Distance between tiers: 1.5m

Wall Segment "C"  
Maximum exposed wall face: 1.5m  
Distance between tiers: 1.5m

**URBAN SYSTEMS**

Scale: 1:400

Quality Control by: [Signature]

Designed by: [Signature]

Drawn by: [Signature]

Project Number: 4265.0001.03

Drawing Number: C17

Revision: 2

Sheet Number: 18 of 52

ANSI expanded D (34.00 x 22.00 inches) 25mm

**CANTIRO**

Amazing Lives Happen Here

#	Date	Issue / Revision	App

Professional Seals

**ATTENTION**

This drawing is prepared for the use of Cantiro One Nest LP. No representations of any kind are made by Urban Systems Ltd. or its employees to any party with whom Urban Systems Ltd. does not have a contract.

**WARNING**

Utilities or structures shown on this drawing were compiled from information supplied by various parties and may not be complete or accurate. Exposure and location of underground utilities in the area of this proposed work is the responsibility of the contractor. Urban Systems Ltd. assumes no responsibility for loss or damage caused by third party negligence or failure to comply with the above.

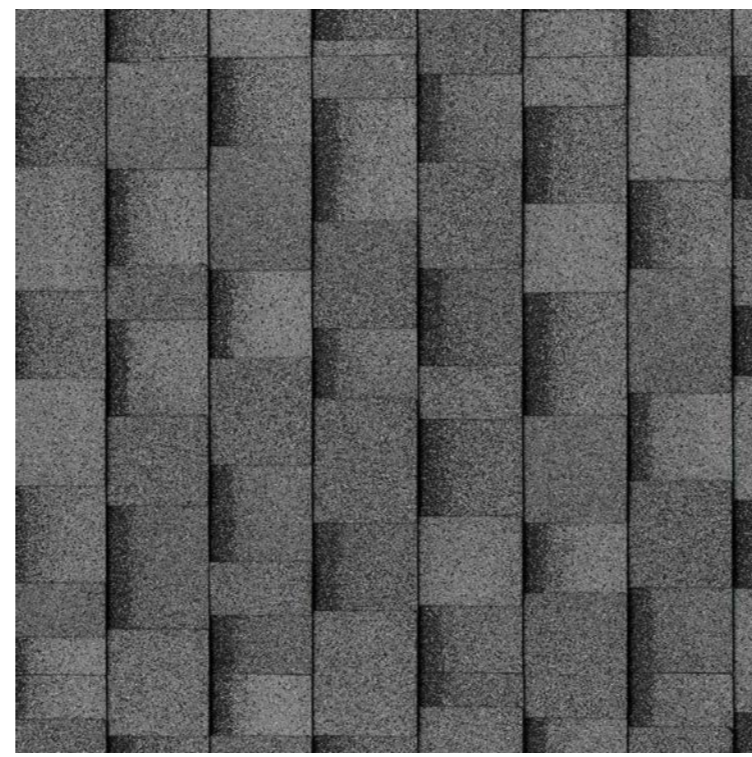
**SURVEY INFORMATION**

Prepared by: VECTOS GEOMATICS LTD.  
Coordinates System: UTM NAD 83  
Compilation Date: 2022-09-26

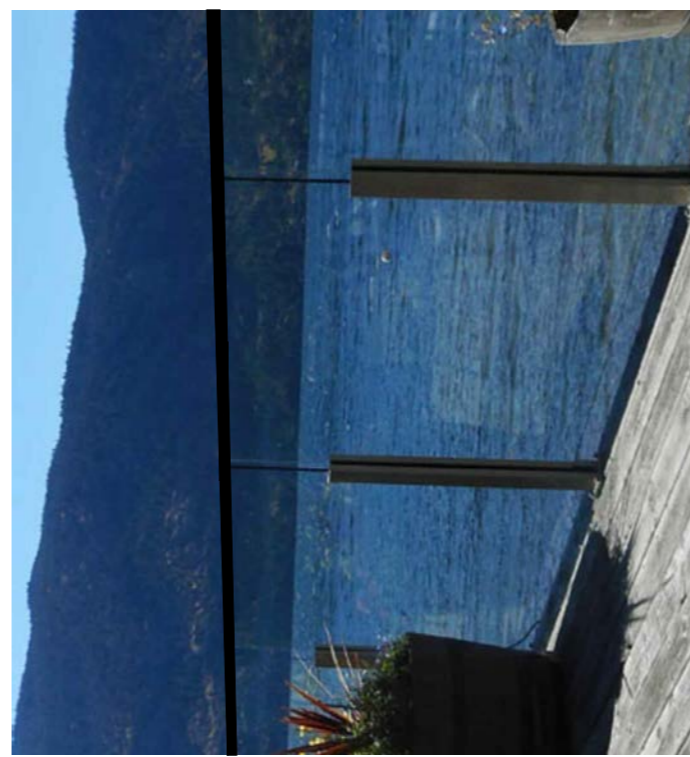
**MATERIAL PALETTE**

THE PROJECT MATERIALS HAVE BEEN DEVELOPED AS A NEUTRAL PALETTE OF ACRYLIC STUCCO WITH WARM FEATURE MATERIALS HIGHLIGHTING ENTRY AREAS AND BALCONY OVERHANG SOFFITS RESULTING IN MODERN BUT COMPLIMENTARY BUILDING EXTERIORS.

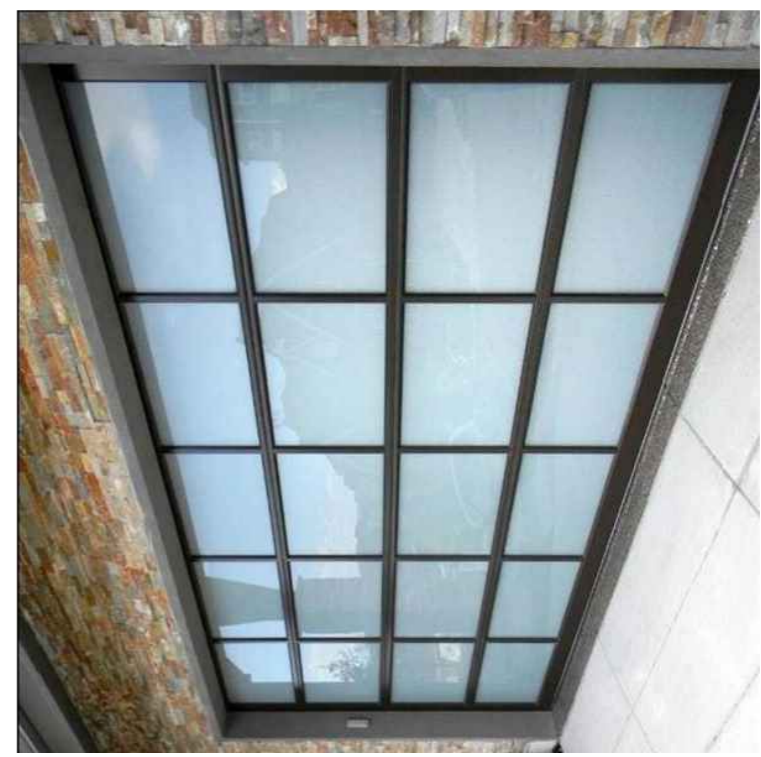
1. ACRYLIC STUCCO, DARK GREY
2. ACRYLIC STUCCO, IVORY
3. COMPOSITE VERTICAL CLADDING, WOOD FINISH
4. WINDOW FRAMES, BLACK
5. WINDOW TRIM AND FLASHING, BLACK
6. COMPOSITE BOARD SOFFIT, WOOD FINISH
7. DOOR HARDWARE, BLACK
8. ASPHALT SHINGLE ROOF
9. GLASS RAILING WITH BLACK POSTS
10. GARAGE DOOR WITH FROSTED GLASS AND BLACK FRAME



8



9



10



EXTERIOR BUILDING MATERIALS

<b>gac</b> architecture																									
Project Team Construction Manager CANTIRO Civil Consultant URBAN SYSTEMS Landscape Consultant URBAN SYSTEMS	Client <b>CANTIRO</b> COMMUNITIES Seat & Permit																								
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">3</td> <td style="width: 50%;">REISSUED FOR DP</td> <td style="width: 50%;">2022/04/28</td> </tr> <tr> <td>2</td> <td>ISSUED FOR DP REV #1</td> <td>2021/06/18</td> </tr> <tr> <td>1</td> <td>ISSUED FOR DP</td> <td>2020/12/11</td> </tr> <tr> <td>No.</td> <td>Description</td> <td>Date</td> </tr> <tr> <td colspan="3">Drawing History</td> </tr> <tr> <td>Scale</td> <td>Drawing Scale</td> <td>Checked By</td> </tr> <tr> <td colspan="3">Project</td> </tr> <tr> <td colspan="3" style="text-align: center;">OWL'S NEST</td> </tr> </table>	3	REISSUED FOR DP	2022/04/28	2	ISSUED FOR DP REV #1	2021/06/18	1	ISSUED FOR DP	2020/12/11	No.	Description	Date	Drawing History			Scale	Drawing Scale	Checked By	Project			OWL'S NEST			Drawing Title <b>MATERIAL BOARD</b> Project Number <b>5661</b> Drawing Number <b>A104</b>
3	REISSUED FOR DP	2022/04/28																							
2	ISSUED FOR DP REV #1	2021/06/18																							
1	ISSUED FOR DP	2020/12/11																							
No.	Description	Date																							
Drawing History																									
Scale	Drawing Scale	Checked By																							
Project																									
OWL'S NEST																									



**HORIZON  
UNIT 1**

**FRONT ELEVATION**

AREA	4236 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL 06/21/2023
MILESTONES	PRELIM MM/DD/YY
	PERMIT MM/DD/YY
	STAKE MM/DD/YY
	FINAL MM/DD/YY
	AS BUILT MM/DD/YY
	INT (R1) MM/DD/YY
	INT (R2) MM/DD/YY
	INT (R3) MM/DD/YY
	INT (R4) MM/DD/YY
	INT (R5) MM/DD/YY
JOB REVISIONS	
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00001

CANTIRO HOMES RESERVES ALL RIGHTS  
INCLUDING THAT OF REPRODUCTION OF THIS  
PUBLISHED PLAN

SHEET NO. **3** / **24**

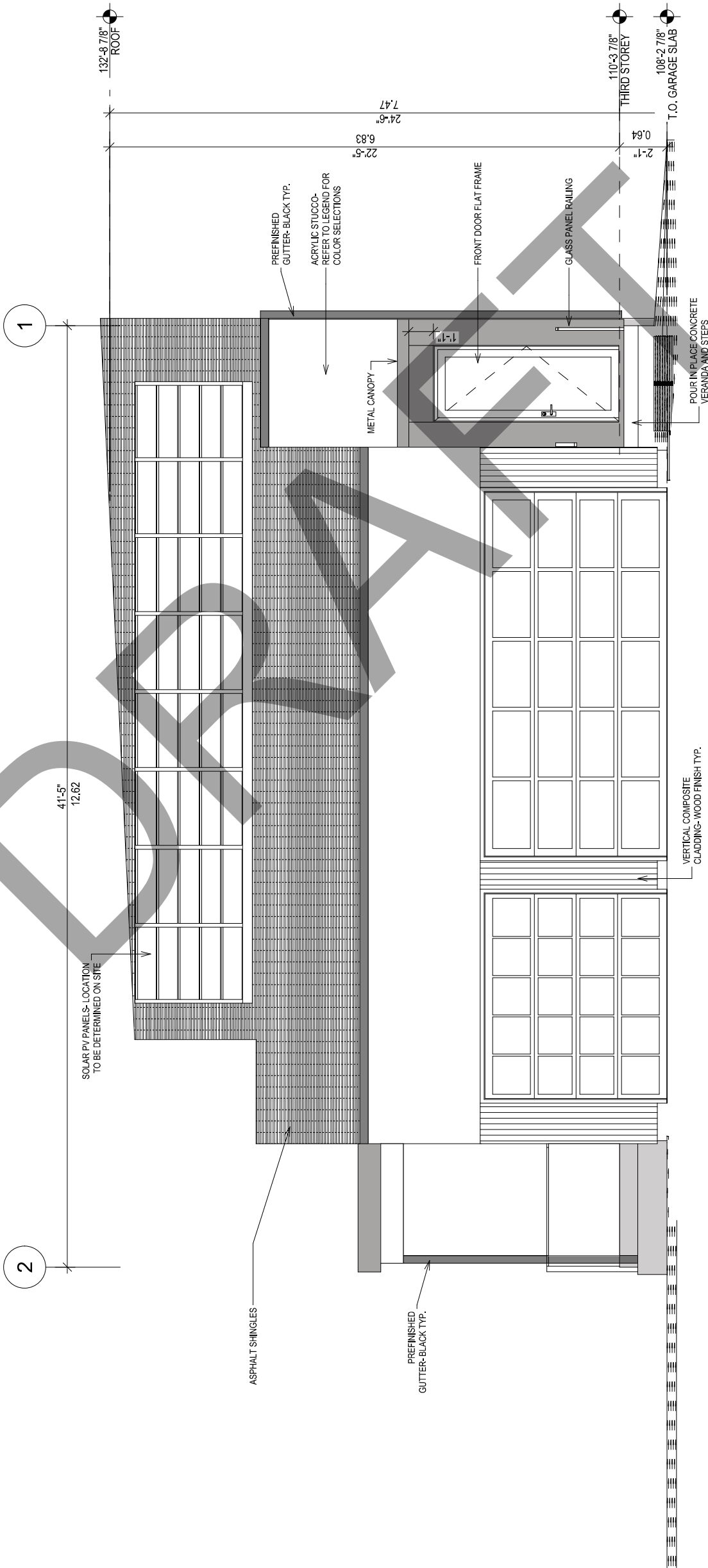
LAST UPDATED: 2024-10-10 - mdesjarlais

WALL LEGEND

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE  
W/ LOW-E COATING & ARGON GAS FILLER  
U VALUE ≤ 1.6  
ER RATING ≥ 25

\*\* ALL WINDOWS ARE TO BE APEX  
9100 SERIES WITH BLACK INTERIOR &  
EXTERIOR FRAMES \*\*



**FRONT ELEVATION**  
Scale: 3/16" = 1'-0"

1

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**HORIZON UNIT 1**

**SIDE 2 ELEVATION**

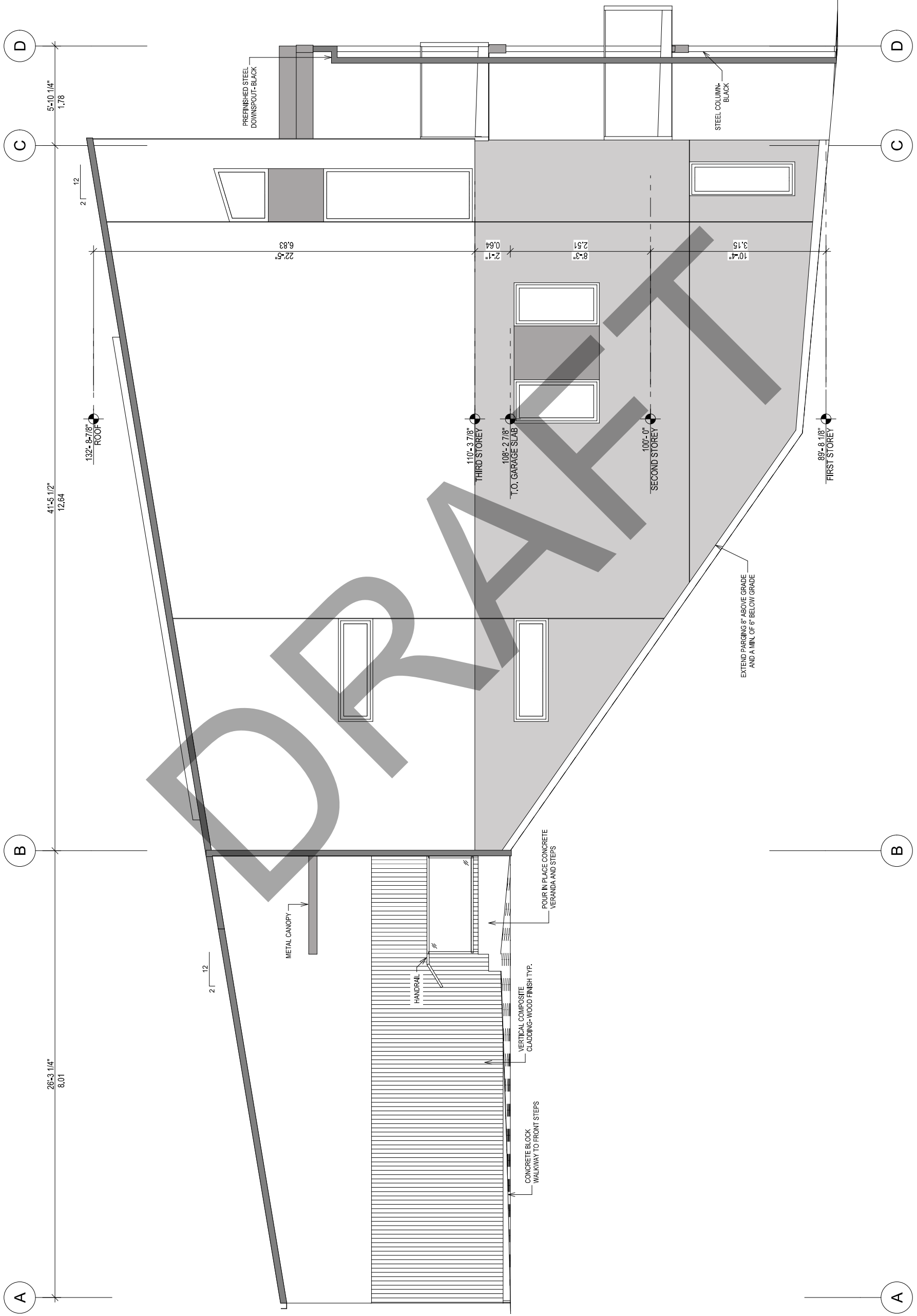
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SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	06/21/2023
MILESTONES		
PRELIM	MM/DD/YY	
PERMIT	MM/DD/YY	
STAKE	MM/DD/YY	
FINAL	MM/DD/YY	
AS BUILT	MM/DD/YY	
JOB REVISIONS		
INT (R1)	MM/DD/YY	
INT (R2)	MM/DD/YY	
INT (R3)	MM/DD/YY	
INT (R4)	MM/DD/YY	
INT (R5)	MM/DD/YY	

ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00001

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SHEET NO.	4
	24



1 SIDE 2 ELEVATION  
 Scale: 3/16" = 1'-0"

LAST UPDATED: 2024-10-10 - mdesjarlais

Schedule B - DP001093 - Elevation Dwgs - Materials

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**HORIZON UNIT 1**

**SIDE 1 ELEVATION**

AREA	4236 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL 06/21/2023

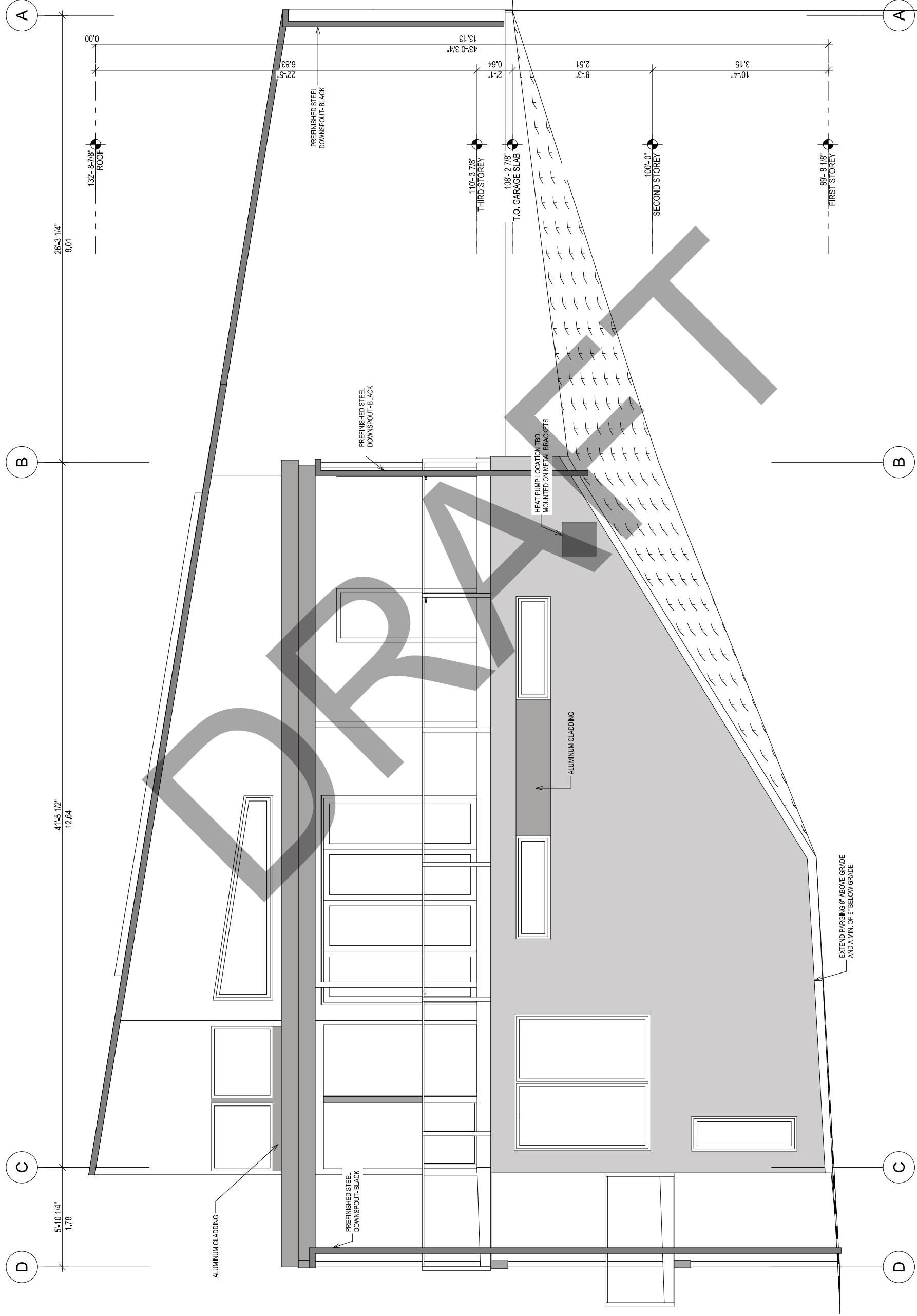
MILESTONES		PRELIM	MM/DD/YY
		PERMIT	MM/DD/YY
		STAKE	MM/DD/YY
		FINAL	MM/DD/YY
AS BUILT		MM/DD/YY	
JOB REVISIONS		INT (R1)	MM/DD/YY
		INT (R2)	MM/DD/YY
		INT (R3)	MM/DD/YY
		INT (R4)	MM/DD/YY
		INT (R5)	MM/DD/YY

ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLK	BLK
PLN	PLN
PHS	PHS

JOB #	31-001-00001
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SHEET NO.	5
	24



**1** SIDE 1 ELEVATION  
 Scale: 3/16" = 1'-0"

LAST UPDATED: 2024-10-10 - mdesjarlais

**CANTIRO**  
 HOMES  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

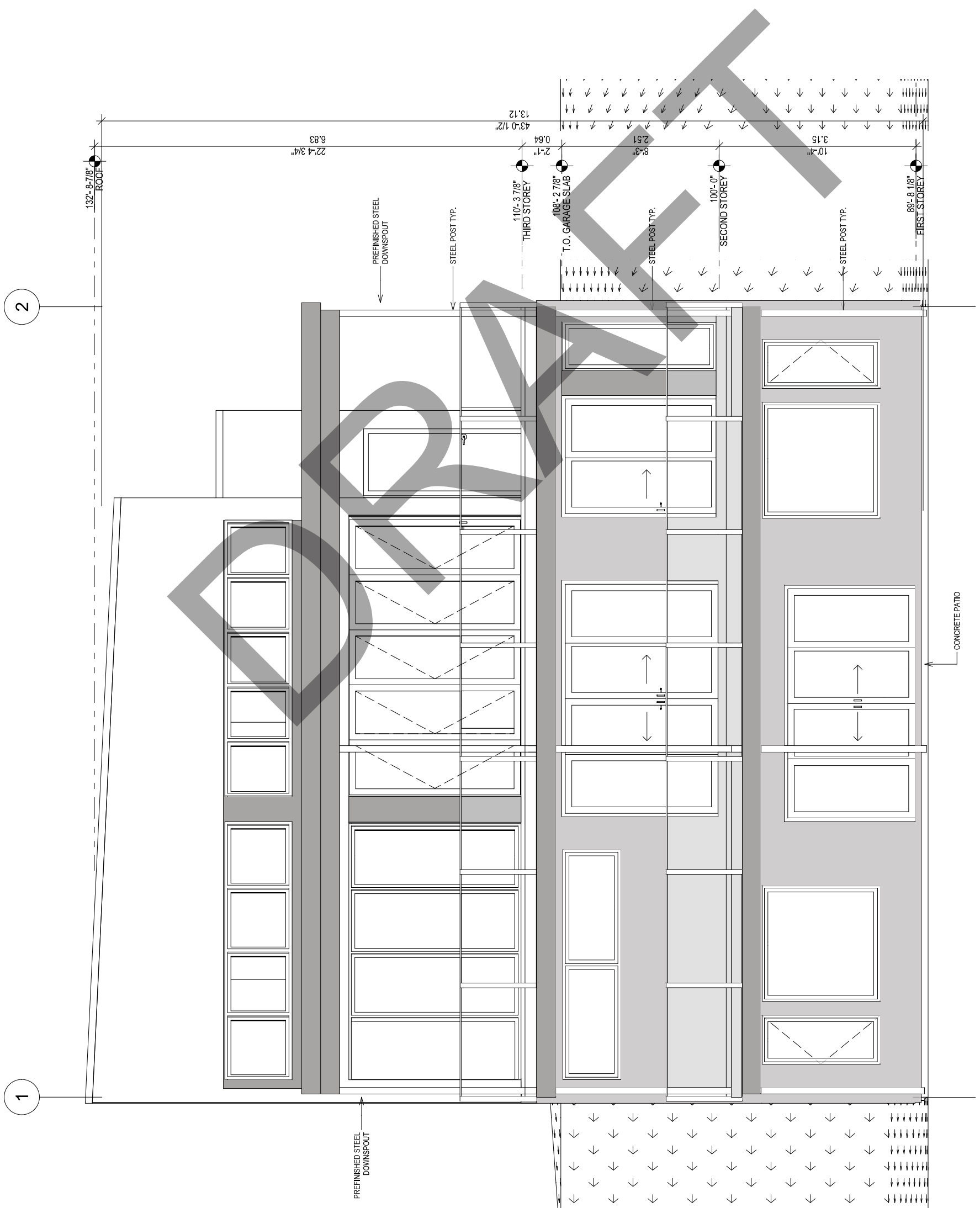
**HORIZON  
 UNIT 1**

<b>REAR ELEVATION</b>	
AREA	4236 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL 06/21/2023
MILESTONES	
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
JOB REVISIONS	
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY
ADDRESS	
SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9	
LOT	
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00001

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SHEET NO. **6** / **24**

LAST UPDATED: 2024-10-10 - mdesjarlais



2

1

**REAR ELEVATION**  
 Scale: 3/16" = 1'-0"

1



17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 10 - VISTA  
 UNIT 23- TYPE 1A**

**FRONT ELEVATION**

AREA	2671 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MK MM/DD/YY
MILESTONES	
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY
JOB REVISIONS	
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00023

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SHEET NO. **3** / **24**

LAST UPDATED: 2024-09-20 - mdesjarlais

**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**\*FRONT ELEVATION\***

**EXPOSED BUILDING FACE (A):** 343 SF (31.87 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 164 SF (15.23 M<sup>2</sup>)  
 CALCULATION: 15.23 M<sup>2</sup> / 31.87 M<sup>2</sup> = 47.8%  
 164 SF / 343 SF

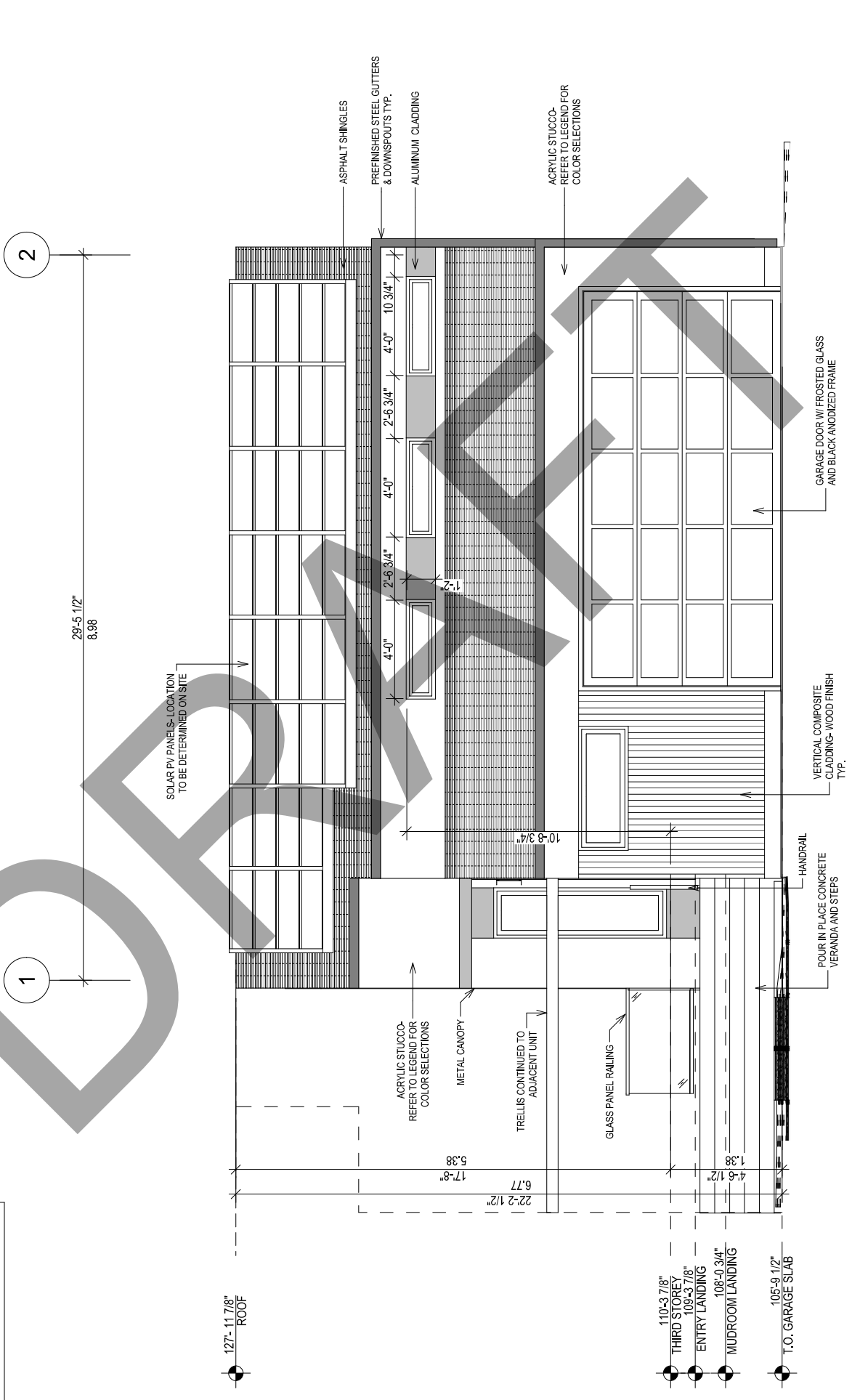
**MINIMUM LIMITING DISTANCE PROVIDED:** 5.0 M (16' 4-7/8")  
 \*INTERPOLATED AS PER A-9.10.15.4.2-(C)(4)

**WALL LEGEND**

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

**ALL WINDOWS ARE TRIPLE PANE  
 W/ LOW-E COATING & ARGON GAS FILLER  
 U VALUE ≤ 1.6  
 ER RATING ≥ 25**

**\*\* ALL WINDOWS ARE TO BE APEX  
 9100 SERIES WITH BLACK INTERIOR &  
 EXTERIOR FRAMES \*\***



**1 FRONT ELEVATION**  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO**  
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**DUPLEX 10 - VISTA  
 UNIT 23- TYPE 1A**

**SIDE 2 ELEVATION**

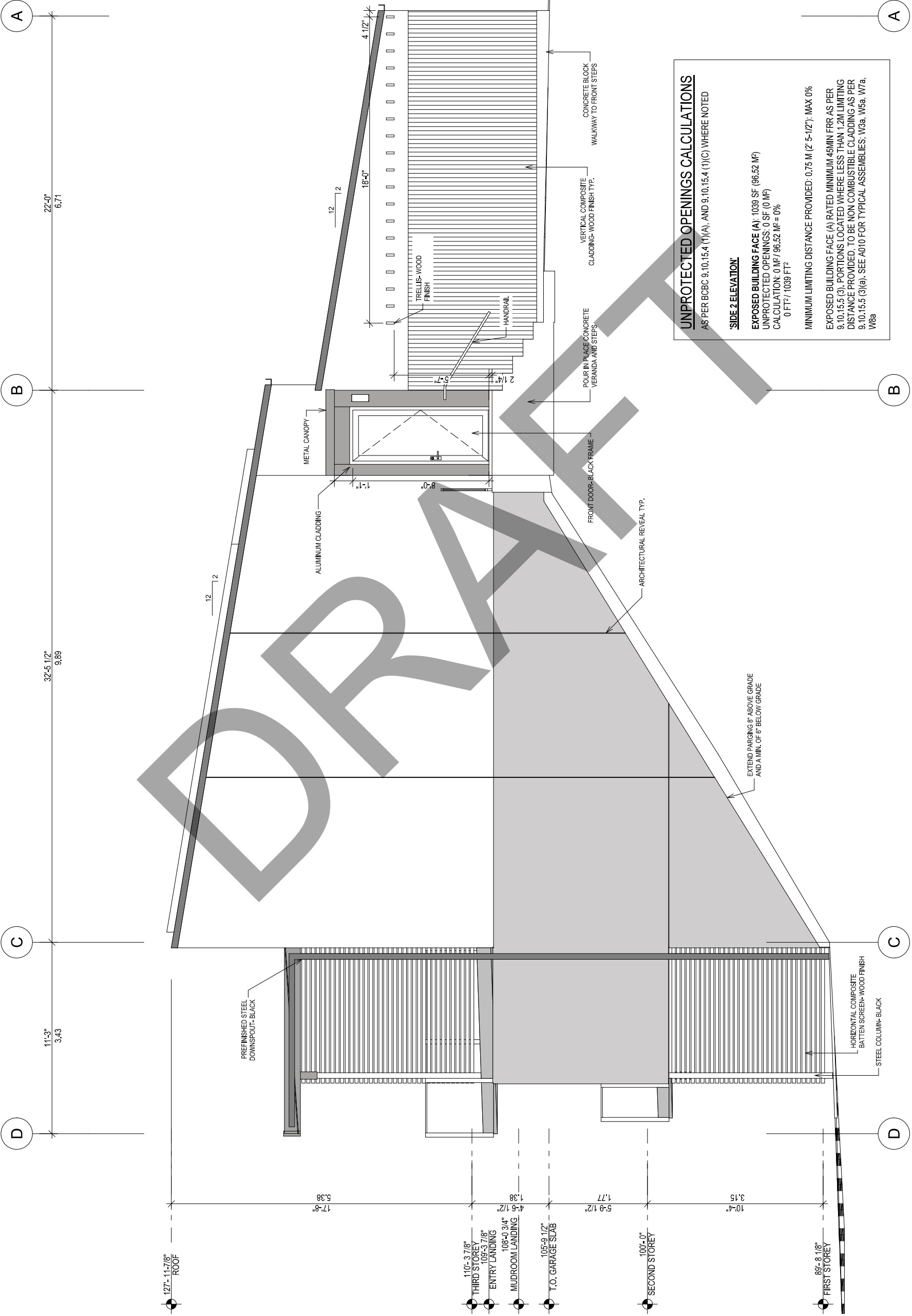
AREA	2671 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	<b>MK</b>
MM/DD/YY	

MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLOCK	BLOCK
PLAN	PLAN
PHS	PHS
PHASE	PHASE
JOB #	31-001-00023

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SHEET NO. **4** / **24**



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'SIDE 2 ELEVATION'**

EXPOSED BUILDING FACE (A): 1039 SF (96.52 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 0 SF (0 M<sup>2</sup>)  
 CALCULATION: 0 M<sup>2</sup> / 96.52 M<sup>2</sup> = 0%  
 0 FT<sup>2</sup> / 1039 FT<sup>2</sup>

MINIMUM LIMITING DISTANCE PROVIDED: 0.75 M (2' 5-1/2"); MAX 0%

EXPOSED BUILDING FACE (A) RATED MINIMUM 45MIN FRR AS PER 9.10.15.5 (3), PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED, TO BE NON COMBUSTIBLE CLADDING AS PER 9.10.15.5 (3)(a). SEE A010 FOR TYPICAL ASSEMBLIES: W3a, W5a, W7a, W8a

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
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 F - (780) 406-6197

**DUPLEX 10 - VISTA  
 UNIT 23- TYPE 1A**

**SIDE 1 ELEVATION**

AREA 2671 Sq. Ft.  
 SCALE AS SHOWN  
 SPEC 2022 SPEC  
 SALES FIRST NAME

DRAFTER	MK	MM/DD/YY
PRELIM		MM/DD/YY
PERMIT		MM/DD/YY
STAKE		MM/DD/YY
FINAL		MM/DD/YY
AS BUILT		MM/DD/YY
INT (R1)		MM/DD/YY
INT (R2)		MM/DD/YY
INT (R3)		MM/DD/YY
INT (R4)		MM/DD/YY
INT (R5)		MM/DD/YY

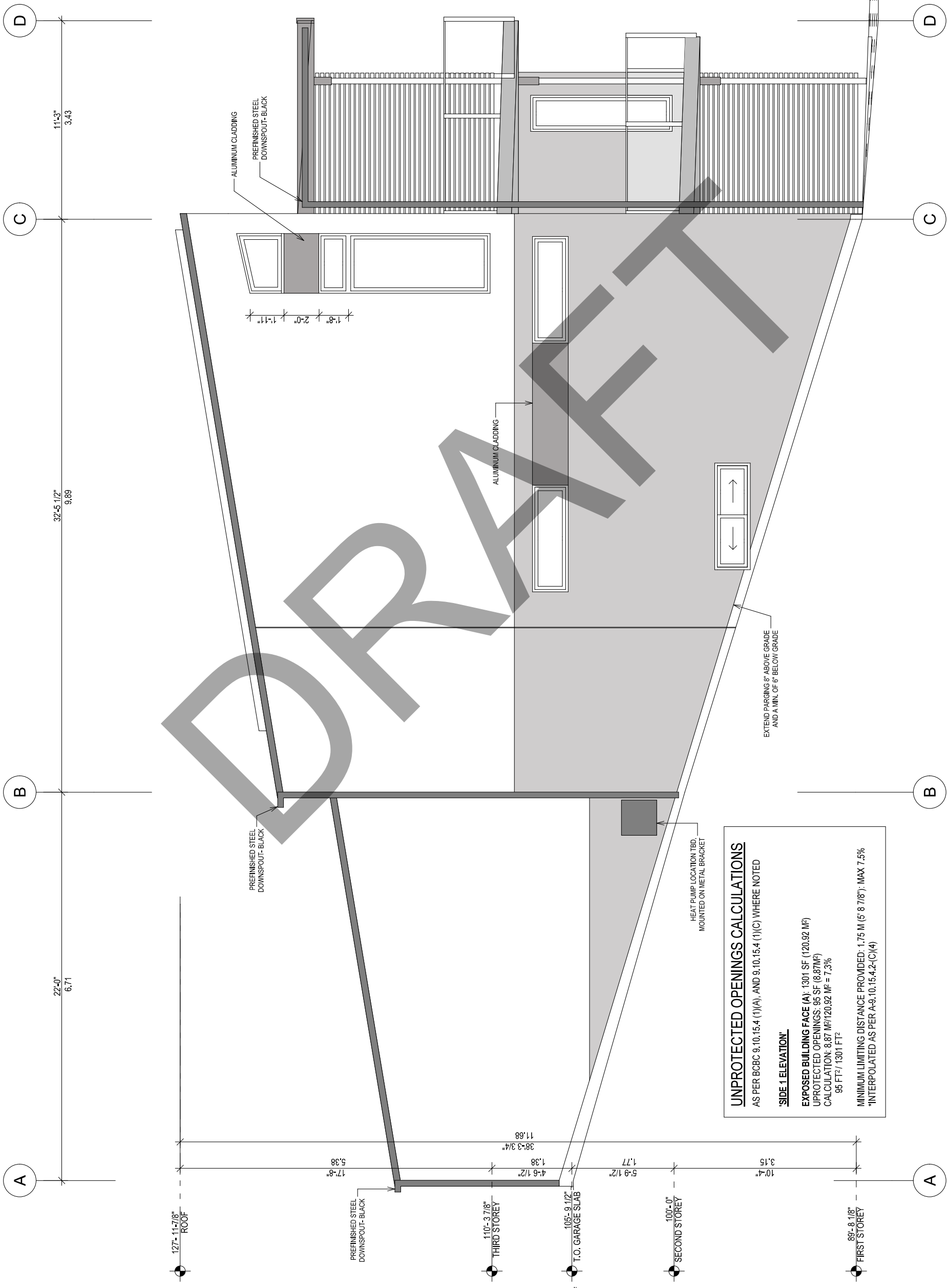
SPEC  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

LOT  
 BLOCK  
 PLAN  
 PHASE

JOB # 31-001-00023

CANTIRO HOMES RESERVES ALL RIGHTS  
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 PUBLISHED PLAN

SHEET NO. 5 24



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'SIDE 1 ELEVATION'**  
 EXPOSED BUILDING FACE (A): 1301 SF (120.92 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 95 SF (8.87M<sup>2</sup>)  
 CALCULATION: 8.87 M<sup>2</sup>/120.92 M<sup>2</sup> = 7.3%  
 95 FT<sup>2</sup> / 1301 FT<sup>2</sup>

MINIMUM LIMITING DISTANCE PROVIDED: 1.75 M (5' 8 7/8") MAX 7.5%  
 \*INTERPOLATED AS PER A-9.10.15.4.2-(C)(4)

**SIDE 1 ELEVATION**  
 Scale: 3/16" = 1'-0"

**UNPROTECTED OPENINGS CALCULATIONS**

AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'REAR ELEVATION'**

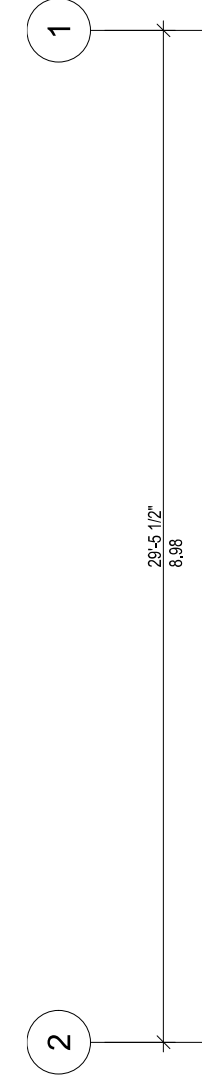
EXPOSED BUILDING FACE (A): 1066 SF (99.1 MF)

UNPROTECTED OPENINGS: 469 SF (43.6 MF)

MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):

6.60 M X 6.60 M = MAX 43.56 MF

MINIMUM LIMITING DISTANCE PROVIDED: 6.70 M (21' 11-3/4")



**CANTIRO**  
 HOMES  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 10 - VISTA  
 UNIT 23- TYPE 1A**

<b>REAR ELEVATION</b>	
AREA	2671 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MK
	MM/DD/YY
MILESTONES	
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY
JOB REVISIONS	
SPEC	
4111 EVANS RD	
LAKE COUNTRY BC	
V4V 2E9	
ADDRESS	
LOT	
BLK	
PLN	
PHS	
PHS	
JOB #	31-001-00023

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SHEET NO. **6** / **24**

**1 REAR ELEVATION**  
 Scale: 3/16" = 1'-0"



**DUPLEX 9- VISTA II  
 UNIT 21- TYPE 1B**

**FRONT ELEVATION**

AREA	2716 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL MM/DD/YY
MILESTONES	PRELIM MM/DD/YY
	PERMIT MM/DD/YY
	STAKE MM/DD/YY
	FINAL MM/DD/YY
JOB REVISIONS	AS BUILT MM/DD/YY
	INT (R1) MM/DD/YY
	INT (R2) MM/DD/YY
	INT (R3) MM/DD/YY
	INT (R4) MM/DD/YY
	INT (R5) MM/DD/YY

SPEC	4111 EVANS RD LAKE COUNTRY BC V4V 2E9
ADDRESS	
LOT	
BLK	
PLN	
PHS	
JOB #	31-001-00021

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SHEET NO. **3** / **24**

LAST UPDATED: 2024-07-05 - mdesjarlais

WALL LEGEND

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE  
 W/ LOW-E COATING & ARGON GAS FILLER  
 U VALUE ≤ 1.6  
 ER RATING ≥ 25

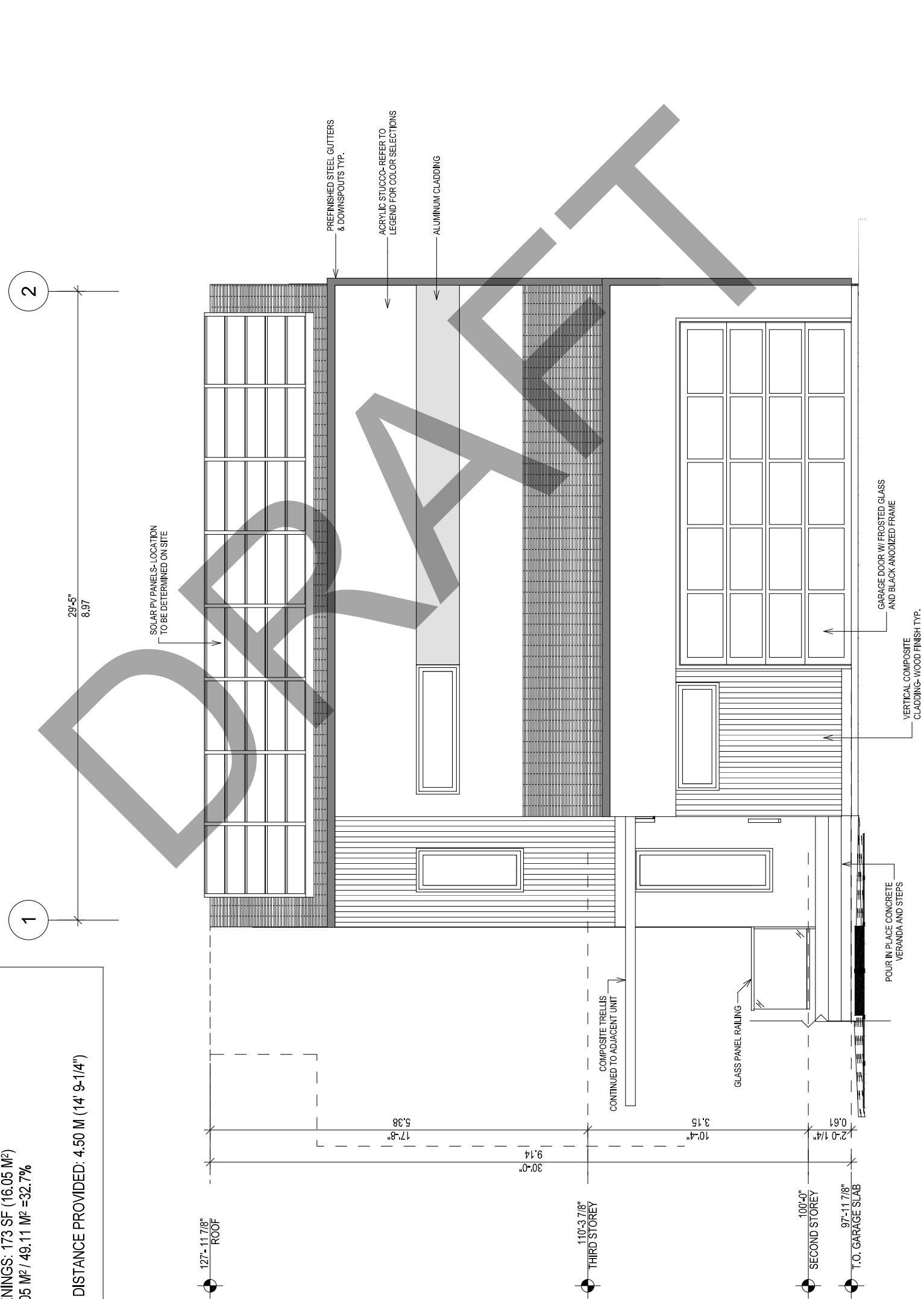
\*\* ALL WINDOWS ARE TO BE APEX  
 9100 SERIES WITH BLACK INTERIOR &  
 EXTERIOR FRAMES \*\*

**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**

EXPOSED BUILDING FACE (A): 528 SF (49.11 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 173 SF (16.05 M<sup>2</sup>)  
 CALCULATION: 16.05 M<sup>2</sup> / 49.11 M<sup>2</sup> = 32.7%  
 173 SF / 528 SF

MINIMUM LIMITING DISTANCE PROVIDED: 4.50 M (14' 9-1/4")



**1 FRONT ELEVATION**  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
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**DUPLEX 9- VISTA II  
 UNIT 21- TYPE 1B**

**SIDE 2 ELEVATION**

AREA 2716 Sq. Ft.  
 SCALE AS SHOWN  
 SPEC 2022 SPEC  
 SALES FIRST NAME

DRAFTER	MEL	MM/DD/YY
PRELIM		MM/DD/YY
PERMIT		MM/DD/YY
STAKE		MM/DD/YY
FINAL		MM/DD/YY
AS BUILT		MM/DD/YY
INT (R1)		MM/DD/YY
INT (R2)		MM/DD/YY
INT (R3)		MM/DD/YY
INT (R4)		MM/DD/YY
INT (R5)		MM/DD/YY

SPEC  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

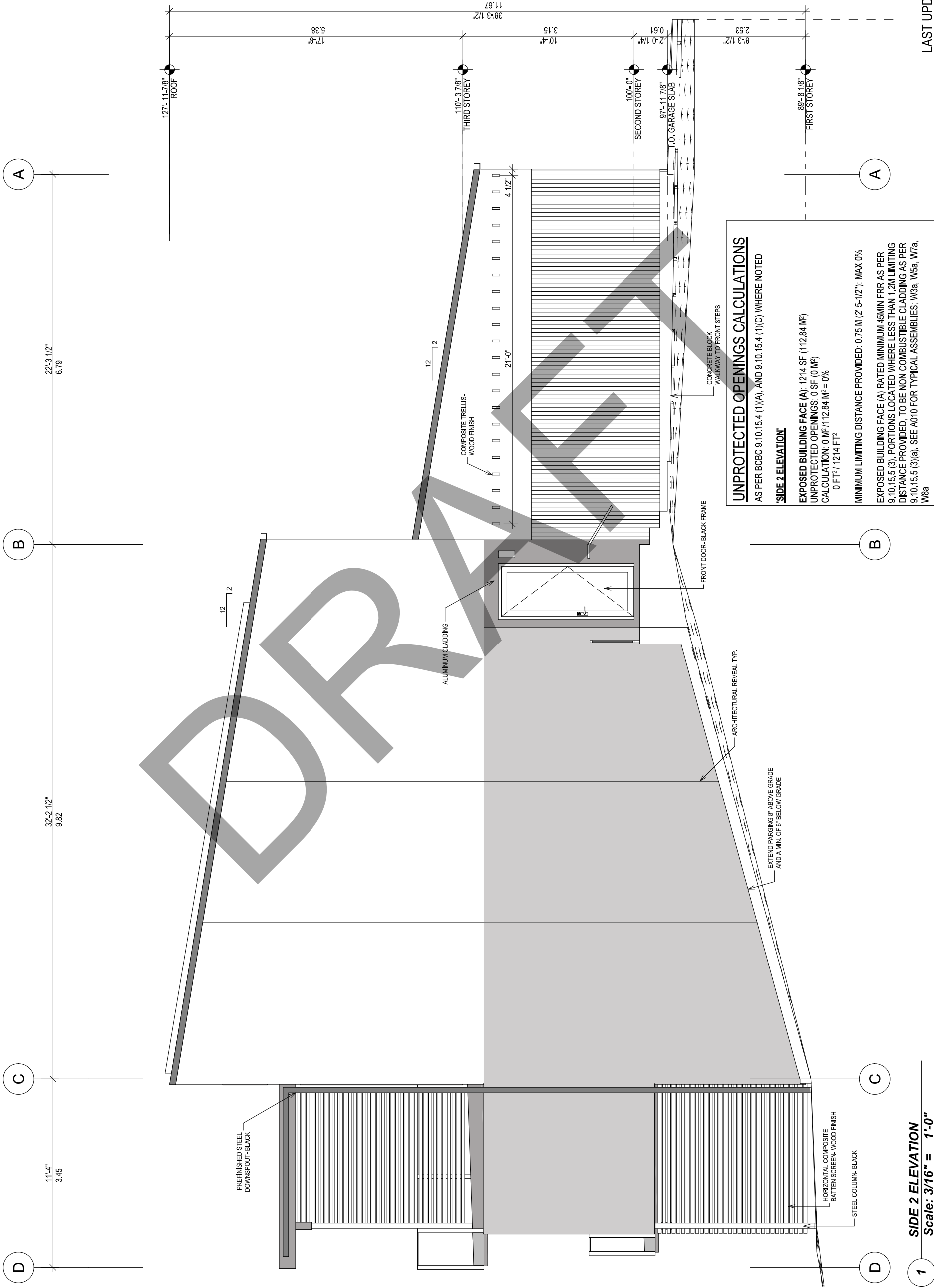
LOT  
 BLOCK  
 PLAN  
 PHASE

JOB # 31-001-00021

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SHEET NO. **4**  
 24

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**SIDE 2 ELEVATION**  
 EXPOSED BUILDING FACE (A): 1214 SF (112.84 MF)  
 UNPROTECTED OPENINGS: 0 SF (0 MF)  
 CALCULATION: 0 MF / 112.84 MF = 0%  
 0 FT<sup>2</sup> / 1214 FT<sup>2</sup>

MINIMUM LIMITING DISTANCE PROVIDED: 0.75 M (2' 5-1/2"); MAX 0%

EXPOSED BUILDING FACE (A) RATED MINIMUM 45MIN FRR AS PER 9.10.15.5 (3), PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED, TO BE NON COMBUSTIBLE CLADDING AS PER 9.10.15.5 (3)(a). SEE A010 FOR TYPICAL ASSEMBLIES: W3a, W5a, W7a, W8a

**1 SIDE 2 ELEVATION**  
 Scale: 3/16" = 1'-0"



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**DUPLEX 9- VISTA II  
 UNIT 21- TYPE 1B**

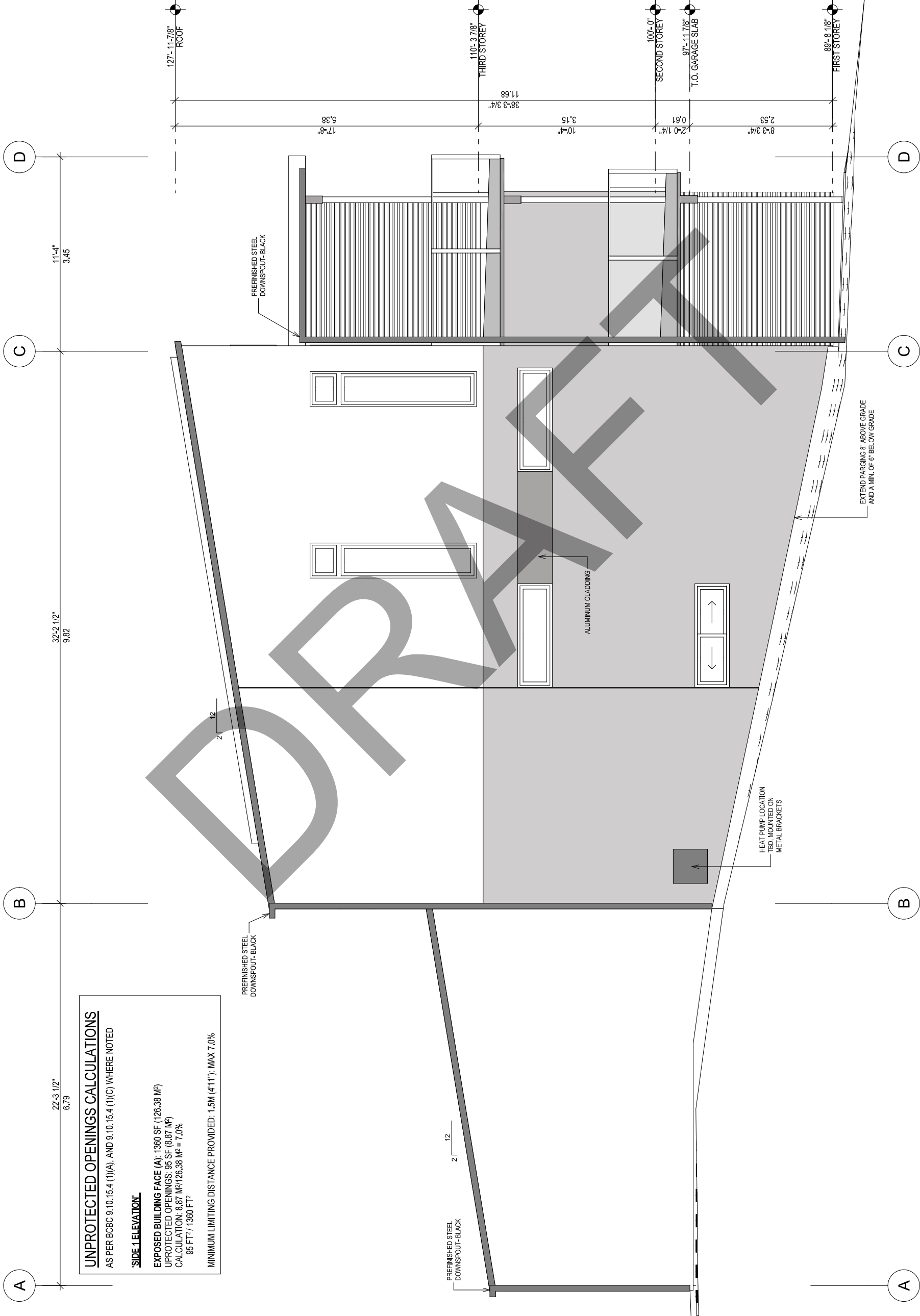
**SIDE 1 ELEVATION**

AREA	2716 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL
MILESTONES	PRELIM MM/DD/YY
	PERMIT MM/DD/YY
	STAKE MM/DD/YY
	FINAL MM/DD/YY
	AS BUILT MM/DD/YY
JOB REVISIONS	INT (R1) MM/DD/YY
	INT (R2) MM/DD/YY
	INT (R3) MM/DD/YY
	INT (R4) MM/DD/YY
	INT (R5) MM/DD/YY
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00021

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SHEET NO. **5** / **24**

LAST UPDATED: 2024-07-05 - mdesjarlais



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'SIDE 1 ELEVATION'**

EXPOSED BUILDING FACE (A): 1360 SF (126.38 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 95 SF (8.87 M<sup>2</sup>)  
 CALCULATION: 8.87 M<sup>2</sup>/126.38 M<sup>2</sup> = 7.0%  
 95 FT<sup>2</sup> / 1360 FT<sup>2</sup>

MINIMUM LIMITING DISTANCE PROVIDED: 1.5M (4'11"); MAX 7.0%

**SIDE 1 ELEVATION**  
 Scale: 3/16" = 1'-0"

**CANTIRO**  
 HOMES  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
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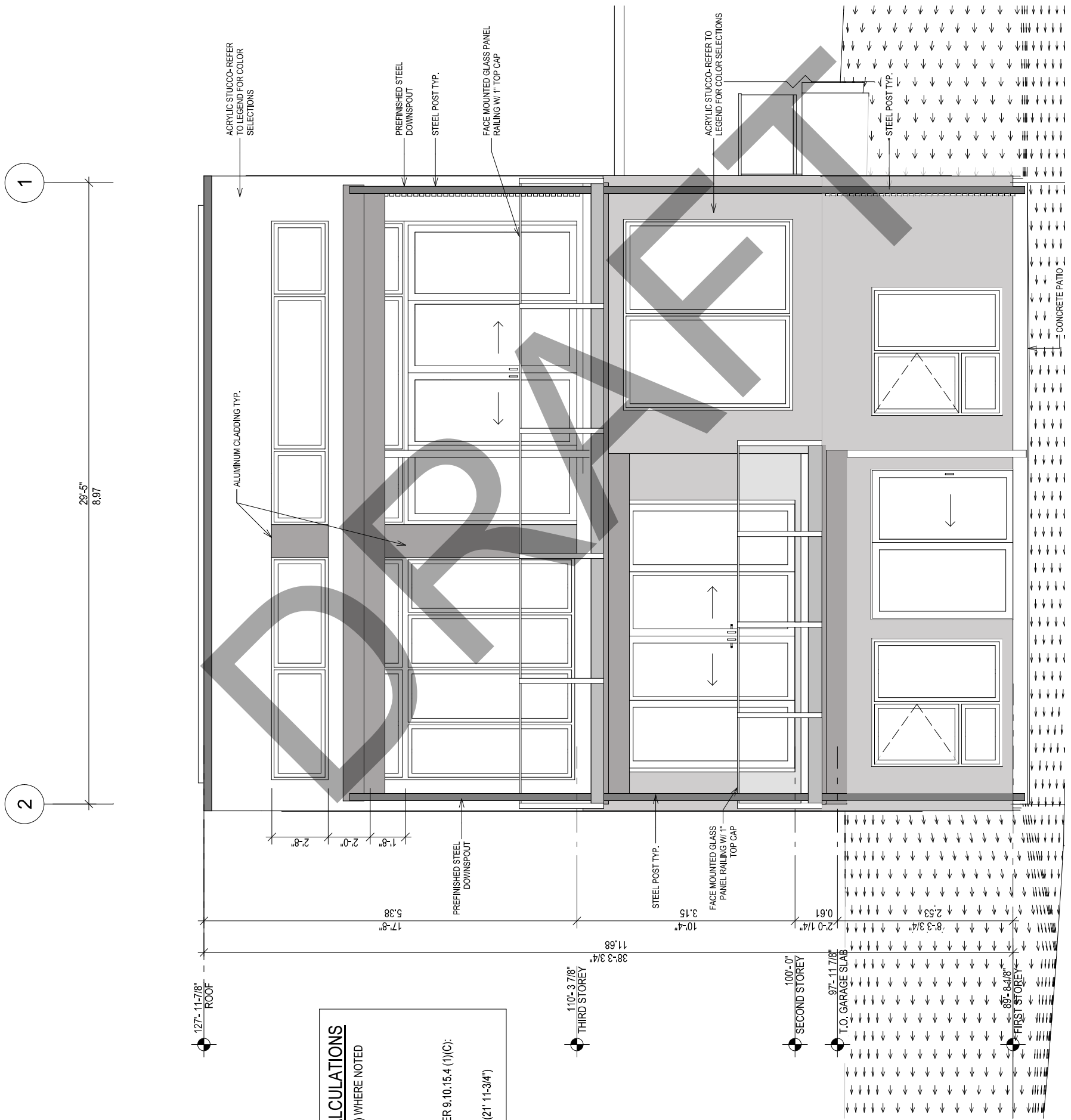
**DUPLEX 9- VISTA II  
 UNIT 21- TYPE 1B**

<b>REAR ELEVATION</b>	
AREA	2716 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL MM/DD/YY
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY
JOB REVISIONS	
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00021

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SHEET NO. **6** / **24**

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'REAR ELEVATION'**

EXPOSED BUILDING FACE (A): 1066 SF (99.1 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 469 SF (43.6 M<sup>2</sup>)  
 MAX. AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 6.60 M x 6.60 M = MAX 43.56 M<sup>2</sup>

MINIMUM LIMITING DISTANCE PROVIDED: 6.70 M (21' 11-3/4")

1  
**REAR ELEVATION**  
 Scale: 3/16" = 1'-0"





**DUPLEX 3 - WATERS' EDGE II**  
**UNIT 6- TYPE 3A**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

SPEC	4111 EVANS RD LAKE COUNTRY BC V4V 2E9
ADDRESS	
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE

JOB #	31-001-00006
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SHEET NO.	3
	24

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**FRONT ELEVATION**

**EXPOSED BUILDING FACE (A):** 434 SF (40.30 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 309 SF (28.75 M<sup>2</sup>)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 5.4 M x 5.4 M = MAX 29.16 M<sup>2</sup> (313 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 5.4 M (17' 8-5/8")

**REAR ELEVATION**

**EXPOSED BUILDING FACE (A):** 1071 SF (99.5 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 637 SF (59.21 M<sup>2</sup>)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 7.7 M x 7.7 M = MAX 59.29 M<sup>2</sup> (638 SF)

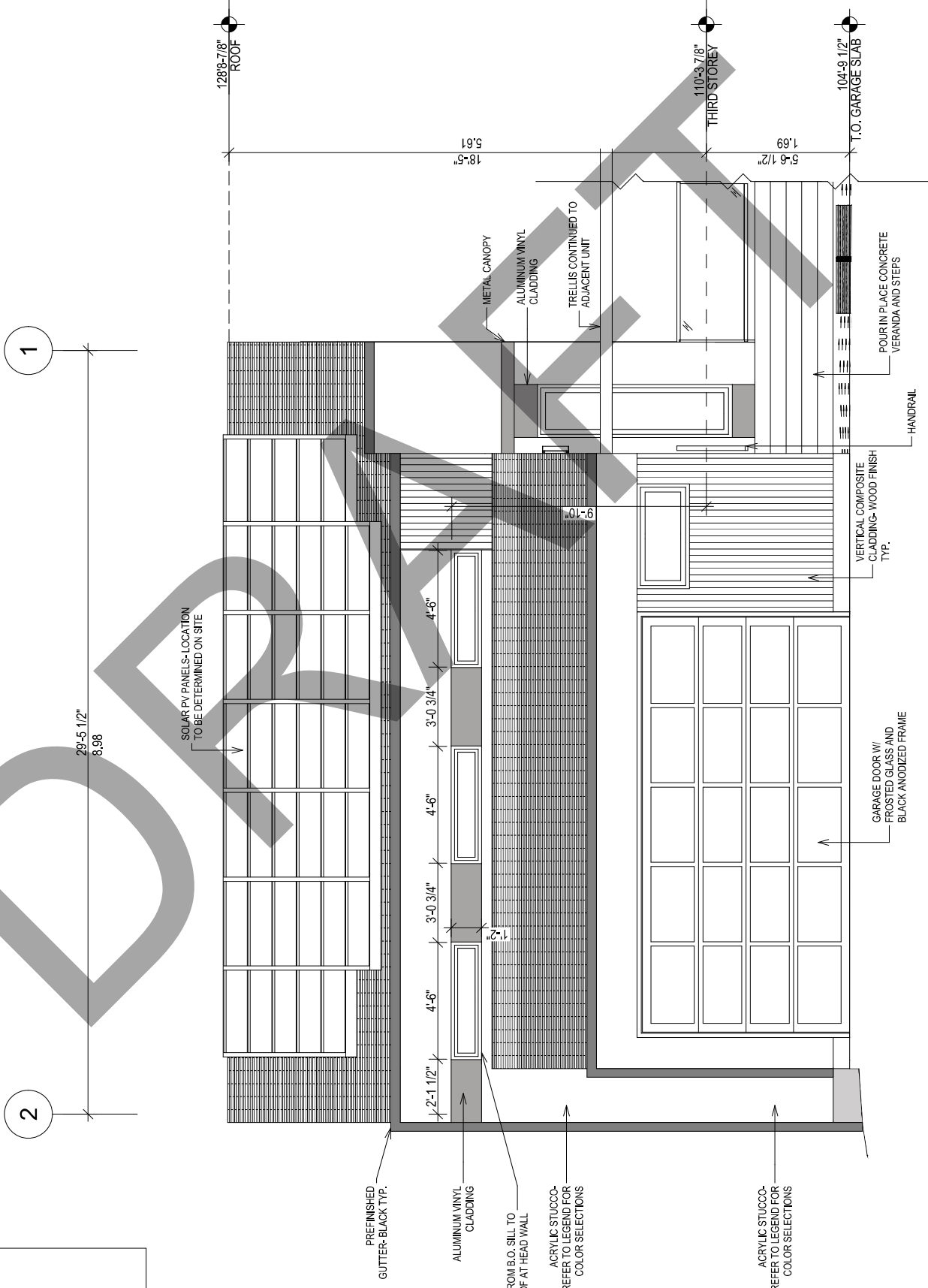
MINIMUM LIMITING DISTANCE PROVIDED: 7.7 M (23' 3-1/8")

WALL LEGEND

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE W/ LOW-E COATING & ARGON GAS FILLER U VALUE ≤ 1.6 ER RATING ≥ 25

\*\* ALL WINDOWS ARE TO BE APEX 9100 SERIES WITH BLACK INTERIOR & EXTERIOR FRAMES \*\*



**1 FRONT ELEVATION**  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 3 - WATERS' EDGE II UNIT 6 - TYPE 3A**

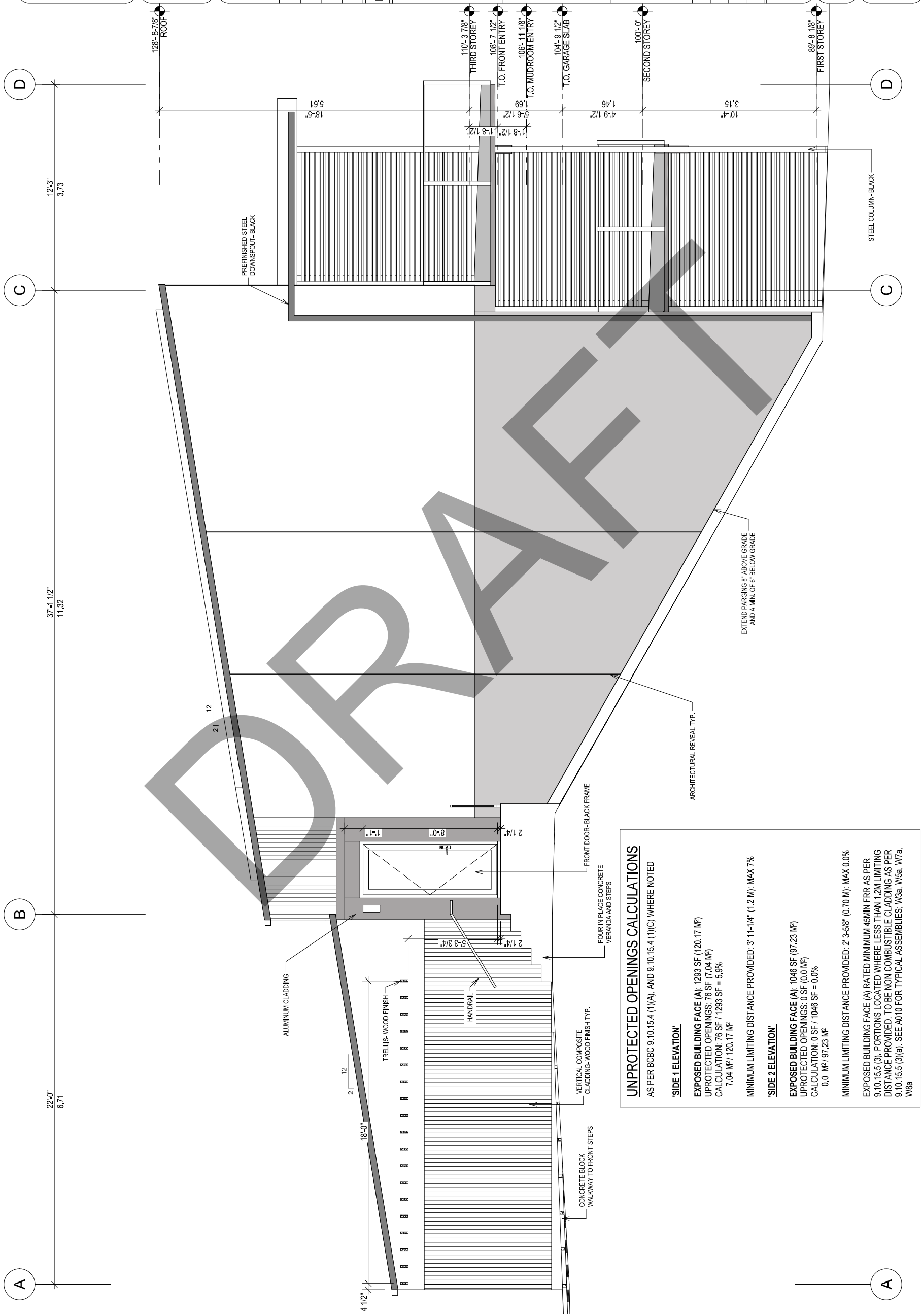
**SIDE 2 ELEVATION**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL
DATE	MM/DD/YY
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY

ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLOCK	BLOCK
PLAN	PLAN
PHS	PHS
PHASE	PHASE
Job #	31-001-00006

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SHEET NO.	4 / 24

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'SIDE 1 ELEVATION'**  
 EXPOSED BUILDING FACE (A): 1293 SF (120.17 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 76 SF (7.04 M<sup>2</sup>)  
 CALCULATION: 76 SF / 1293 SF = 5.9%  
 7.04 M<sup>2</sup> / 120.17 M<sup>2</sup>

MINIMUM LIMITING DISTANCE PROVIDED: 3' 11-1/4" (1.2 M); MAX 7%

**'SIDE 2 ELEVATION'**  
 EXPOSED BUILDING FACE (A): 1046 SF (97.23 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 0 SF (0.0 M<sup>2</sup>)  
 CALCULATION: 0 SF / 1046 SF = 0.0%  
 0.0 M<sup>2</sup> / 97.23 M<sup>2</sup>

MINIMUM LIMITING DISTANCE PROVIDED: 2' 3-5/8" (0.70 M); MAX 0.0%

EXPOSED BUILDING FACE (A) RATED MINIMUM 45MIN FRR AS PER 9.10.15.5 (3). PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED, TO BE NON-COMBUSTIBLE CLADDING AS PER 9.10.15.5 (3)(a). SEE A010 FOR TYPICAL ASSEMBLIES; W3a, W5a, W7a, W8a

1 SIDE 2 ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 3 - WATERS' EDGE II UNIT 6- TYPE 3A**

**SIDE 1 ELEVATION**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

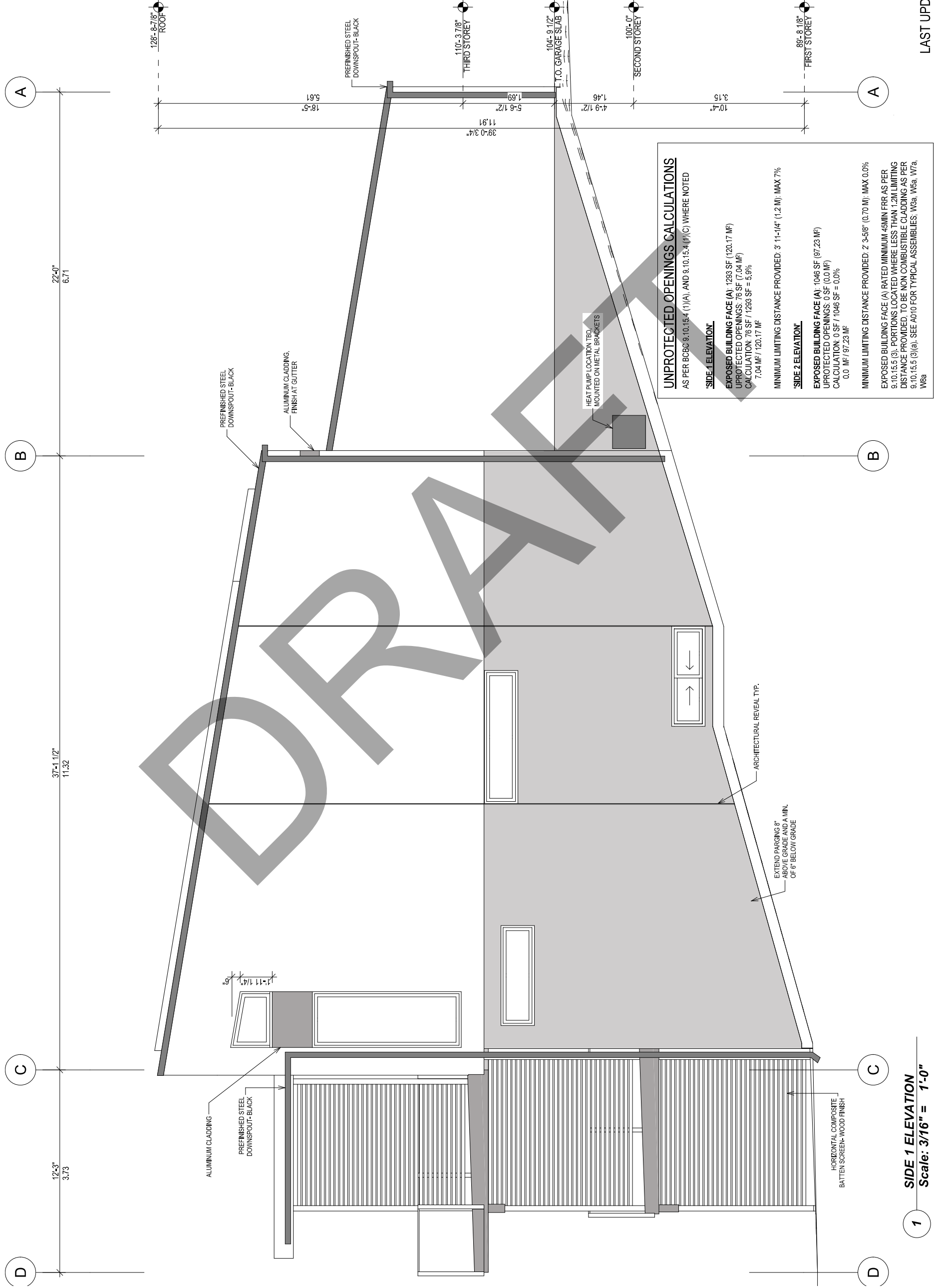
ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLOCK	BLOCK
PLAN	PLAN
PHS	PHS

JOB #	31-001-00006
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SHEET NO.	5
	24

LAST UPDATED: 2024-09-23 - mdesjarlais



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 8.10.15.4 (1)(A), AND 8.10.15.4 (1)(C) WHERE NOTED

**'SIDE 1 ELEVATION'**  
**EXPOSED BUILDING FACE (A):** 1283 SF (120.17 MF)  
**UNPROTECTED OPENINGS:** 76 SF (7.04 MF)  
**CALCULATION:** 76 SF / 1283 SF = 5.9%  
 7.04 MF / 120.17 MF

**MINIMUM LIMITING DISTANCE PROVIDED:** 3' 11-1/4" (1.2 M); MAX 7%

**'SIDE 2 ELEVATION'**  
**EXPOSED BUILDING FACE (A):** 1046 SF (97.23 MF)  
**UNPROTECTED OPENINGS:** 0 SF (0.0 MF)  
**CALCULATION:** 0 SF / 1046 SF = 0.0%  
 0.0 MF / 97.23 MF

**MINIMUM LIMITING DISTANCE PROVIDED:** 2' 3-5/8" (0.70 M); MAX 0.0%

**EXPOSED BUILDING FACE (A) RATED MINIMUM 45MIN FRR AS PER 8.10.15.5 (3), PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED. TO BE NON-COMBUSTIBLE CLADDING AS PER 8.10.15.5 (3)(a). SEE A010 FOR TYPICAL ASSEMBLIES: W3a, W6a, W7a, W8a**

**1 SIDE 1 ELEVATION**  
 Scale: 3/16" = 1'-0"

**CANTIRO HOMES**  
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**DUPLEX 3 - WATERS' EDGE II  
 UNIT 6- TYPE 3A**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL
	MM/DD/YY

MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

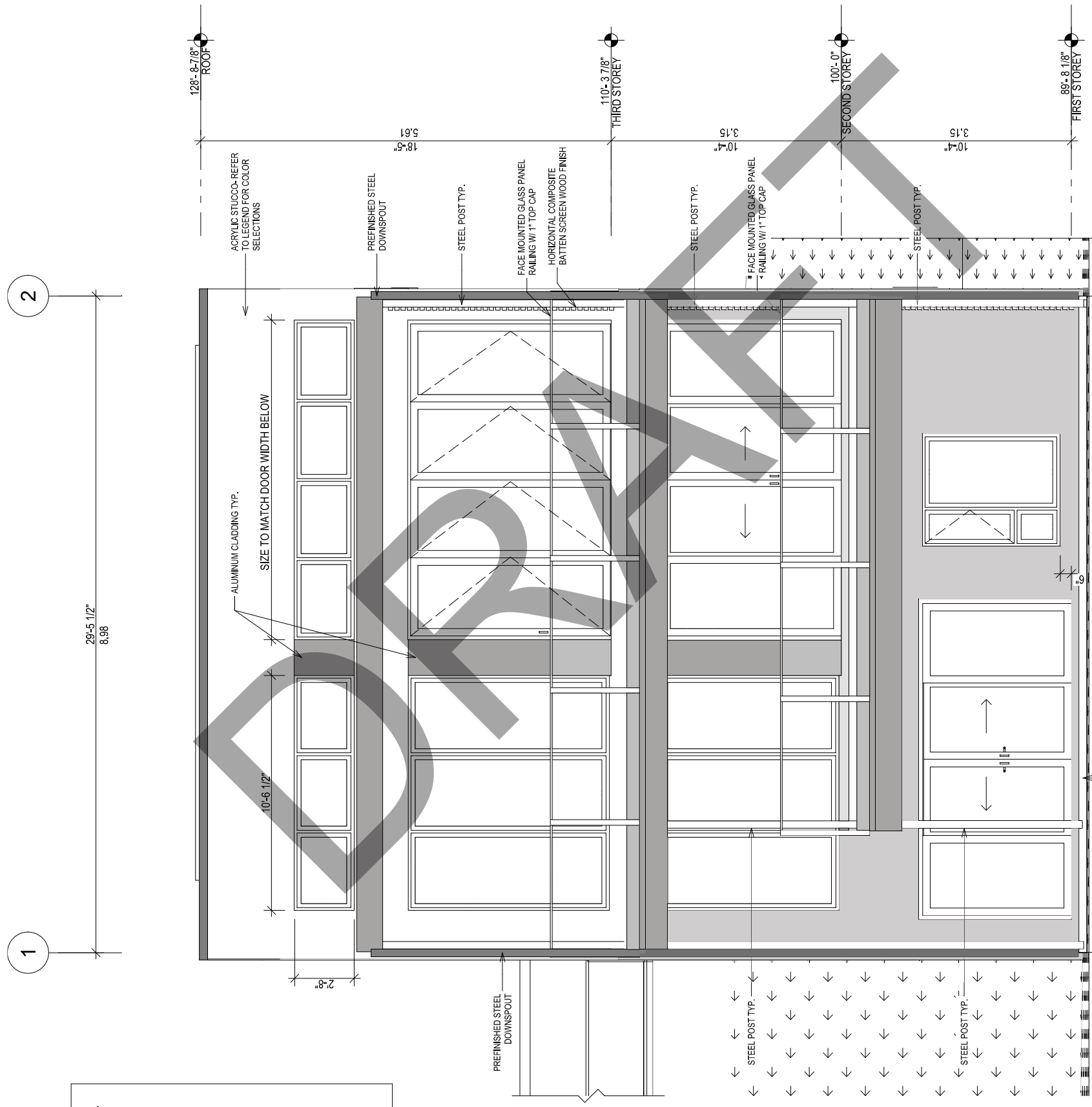
ADDRESS	SPEC
	4111 EVANS RD
	LAKE COUNTRY BC
	V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE

JOB #	31-001-00006
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SHEET NO. **6** / **24**

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**FRONT ELEVATION**

**EXPOSED BUILDING FACE (A):** 434 SF (40.30 MF)  
 UNPROTECTED OPENINGS: 309 SF (28.75 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 5.4 M x 5.4 M = MAX 29.16 MF (313 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 5.4 M (17' 8-5/8")

**REAR ELEVATION**

**EXPOSED BUILDING FACE (A):** 1071 SF (99.5 MF)  
 UNPROTECTED OPENINGS: 637 SF (59.21 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 7.7 M x 7.7 M = MAX 59.29 MF (638 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 7.7 M (23' 3-1/8")

**1 REAR ELEVATION**  
 Scale: 3/16" = 1'-0"

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta. T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 1 - WATERS' EDGE  
 UNIT 2- TYPE 3B**

**FRONT ELEVATION**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	<b>MK 06/05/2022</b>

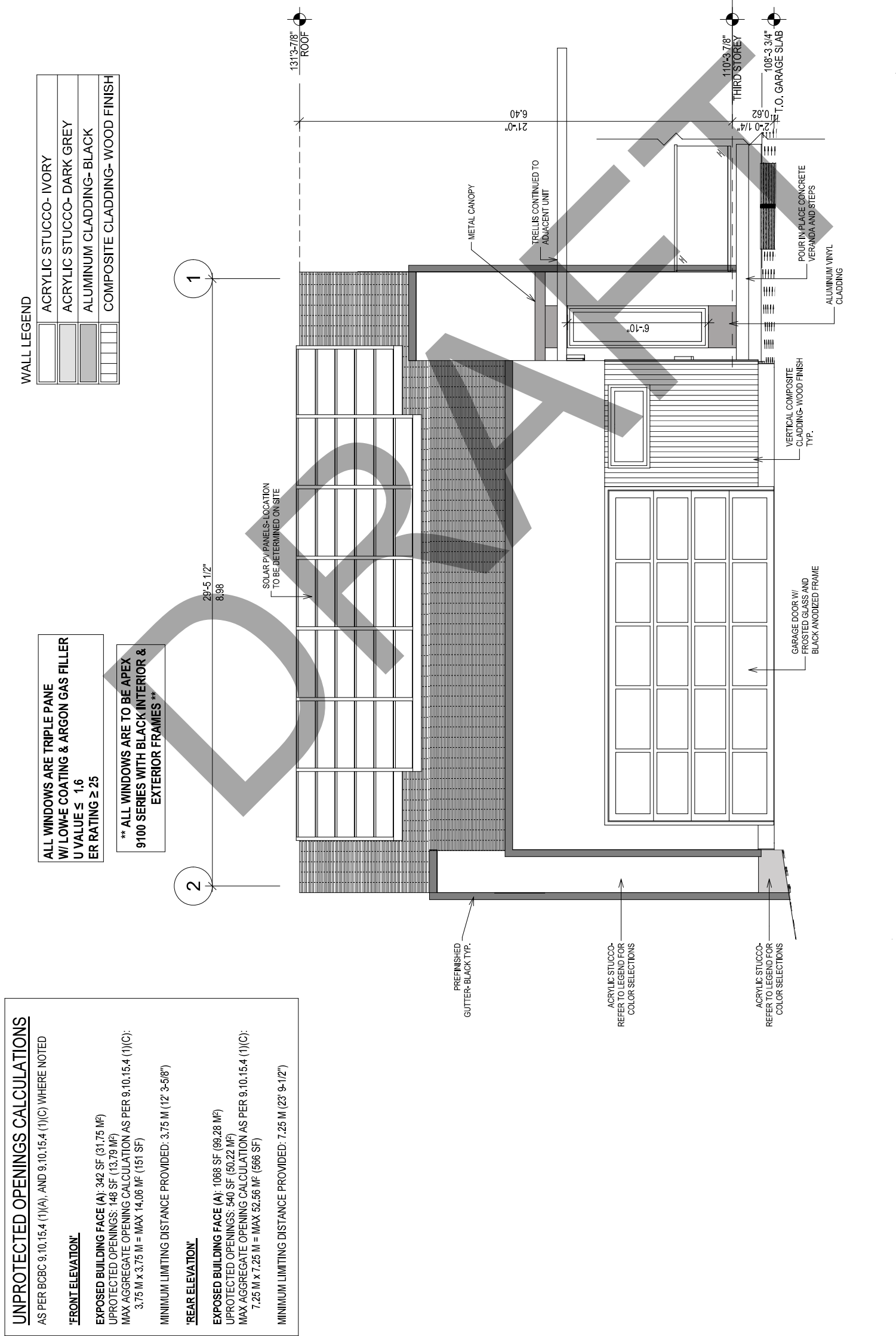
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00002

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SHEET NO. **3** / **24**

LAST UPDATED: 2024-09-23 - mdesjarlais



**WALL LEGEND**

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE W/ LOW-E COATING & ARGON GAS FILLER U VALUE ≤ 1.6 ER RATING ≥ 25

\*\* ALL WINDOWS ARE TO BE APEX 9100 SERIES WITH BLACK INTERIOR & EXTERIOR FRAMES \*\*

**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**

EXPOSED BUILDING FACE (A): 342 SF (31.75 MF)  
 UNPROTECTED OPENINGS: 148 SF (13.79 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C): 3.75 M x 3.75 M = MAX 14.06 MF (151 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 3.75 M (12' 3-5/8")

**'REAR ELEVATION'**

EXPOSED BUILDING FACE (A): 1088 SF (99.28 MF)  
 UNPROTECTED OPENINGS: 540 SF (50.22 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C): 7.25 M x 7.25 M = MAX 52.56 MF (566 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 7.25 M (23' 9-1/2")

1 FRONT ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 1 - WATERS' EDGE UNIT 2 - TYPE 3B**

**SIDE 2 ELEVATION**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

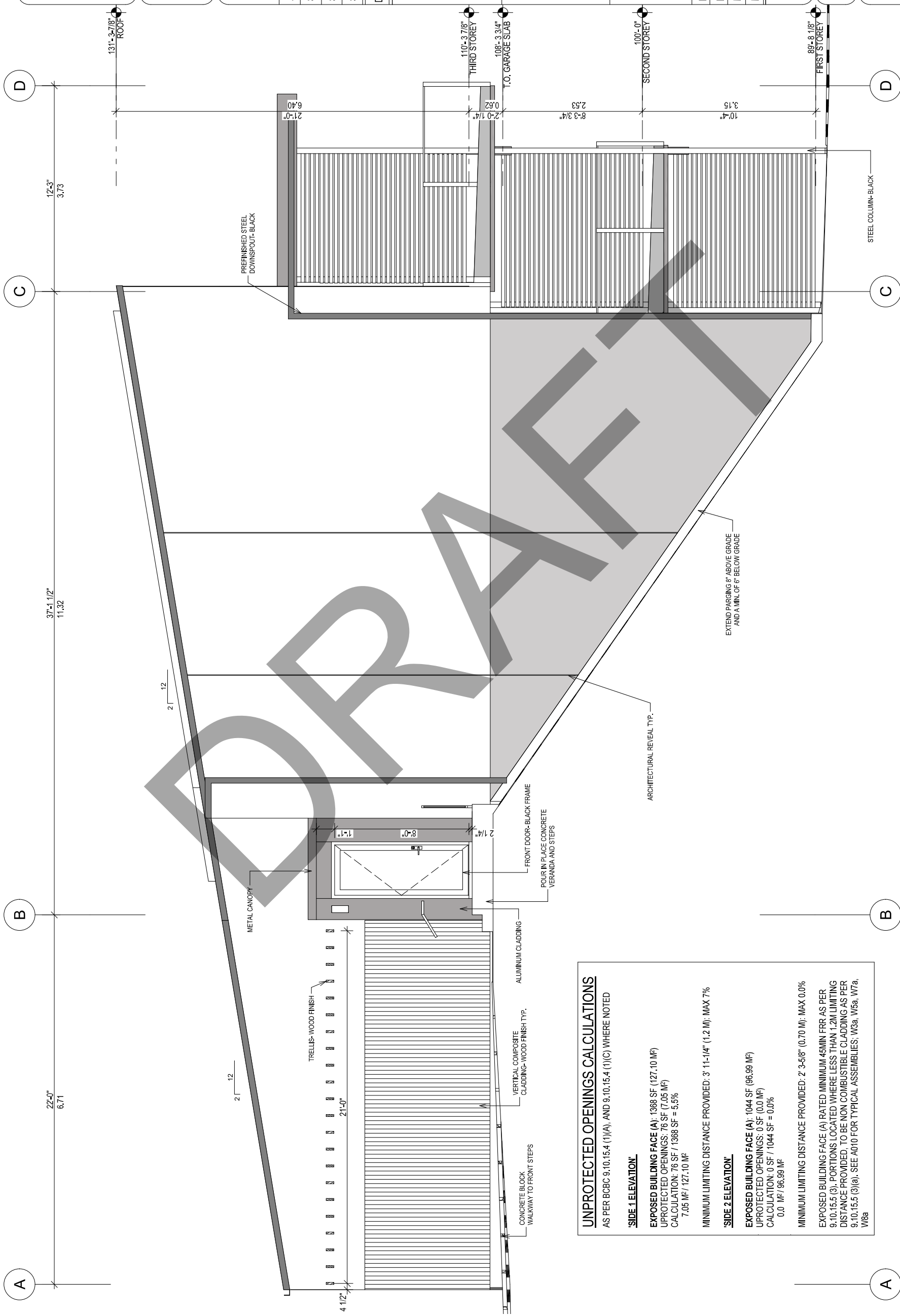
DRAFTER	MK	06/05/2022
MILESTONES		
PRELIM	MM/DD/YY	
PERMIT	MM/DD/YY	
STAKE	MM/DD/YY	
FINAL	MM/DD/YY	
AS BUILT	MM/DD/YY	
INT (R1)	MM/DD/YY	
INT (R2)	MM/DD/YY	
INT (R3)	MM/DD/YY	
INT (R4)	MM/DD/YY	
INT (R5)	MM/DD/YY	

ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00002

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SHEET NO. **4** / **24**

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'SIDE 1 ELEVATION'**  
 EXPOSED BUILDING FACE (A): 1368 SF (127.10 MF)  
 UNPROTECTED OPENINGS: 76 SF (7.05 MF)  
 CALCULATION: 76 SF / 1368 SF = 5.5%  
 7.05 MF / 127.10 MF

MINIMUM LIMITING DISTANCE PROVIDED: 3' 11-1/4" (1.2 M); MAX 7%

**'SIDE 2 ELEVATION'**  
 EXPOSED BUILDING FACE (A): 1044 SF (96.99 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0 SF / 1044 SF = 0.0%  
 0.0 MF / 96.99 MF

MINIMUM LIMITING DISTANCE PROVIDED: 2' 3-5/8" (0.70 M); MAX 0.0%

EXPOSED BUILDING FACE (A) RATED MINIMUM 45MIN FRR AS PER 9.10.15.5 (3), PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED, TO BE NON COMBUSTIBLE CLADDING AS PER 9.10.15.5 (3)(a). SEE A010 FOR TYPICAL ASSEMBLIES: W3a, W5a, W7a, W8a

1 SIDE 2 ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta. T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 1 - WATERS' EDGE UNIT 2 - TYPE 3B**

**SIDE 1 ELEVATION**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	<b>MK</b> 06/05/2022

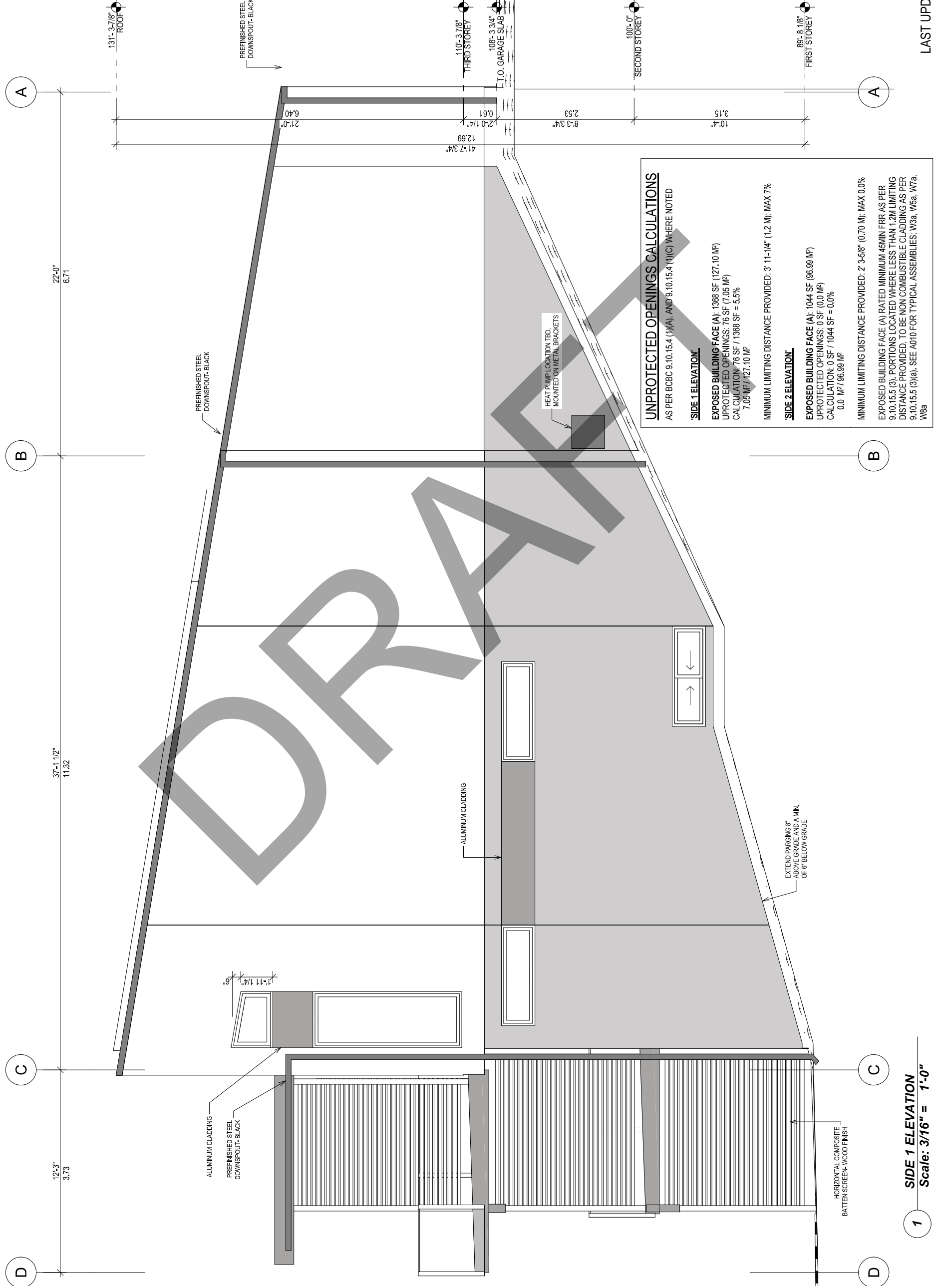
MILESTONES	
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY

ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLOCK	BLOCK
PLAN	PLAN
PHS	PHS
PHASE	PHASE
JOB #	31-001-00002

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**1 SIDE 1 ELEVATION**  
 Scale: 3/16" = 1'-0"

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**DUPLEX 1 - WATERS' EDGE  
 UNIT 2- TYPE 3B**

**REAR ELEVATION**

AREA	2861 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	<b>MK 06/05/2022</b>

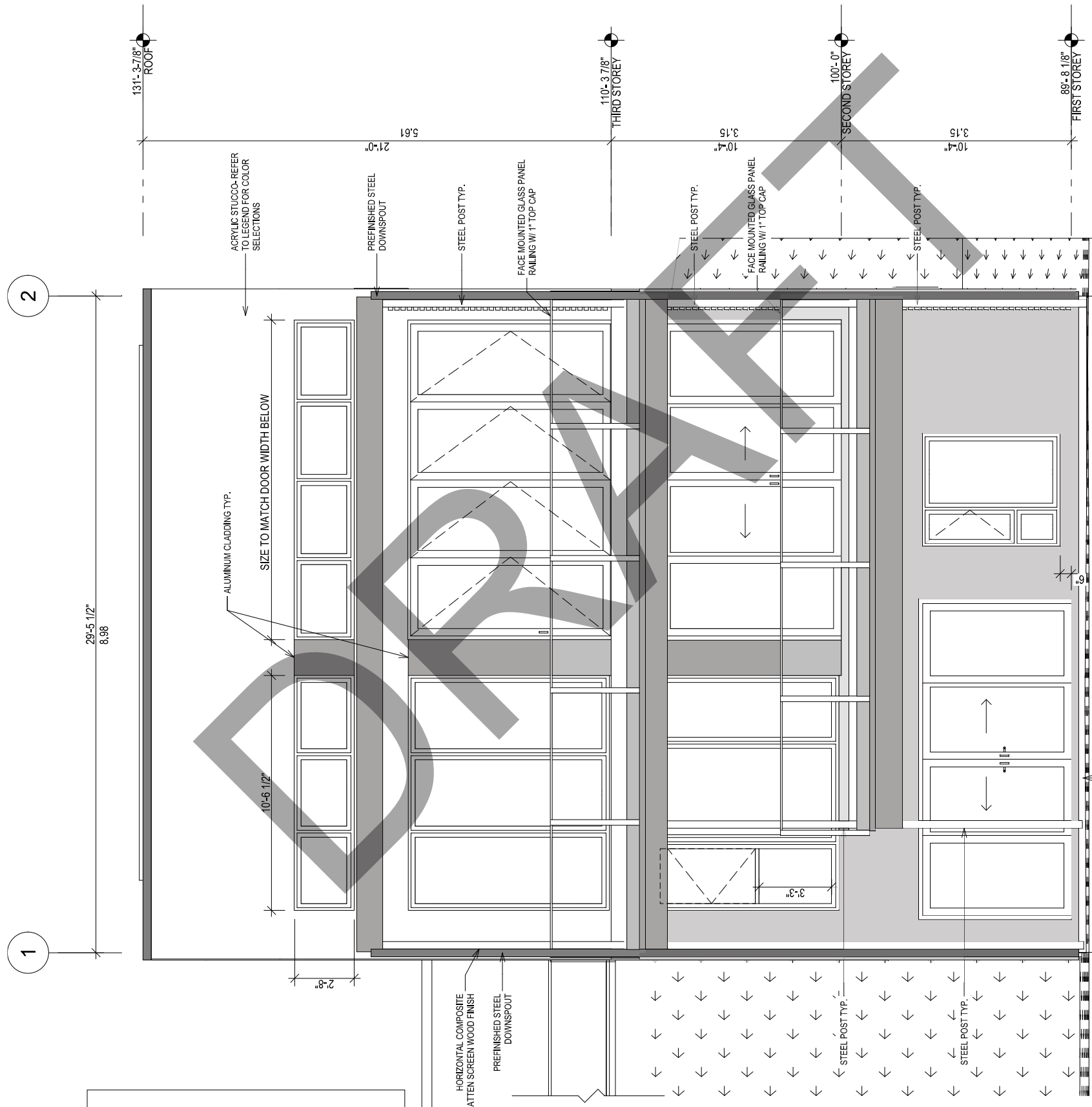
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00002

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SHEET NO. **6** / **24**

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**  
 EXPOSED BUILDING FACE (A): 342 SF (31.75 MF)  
 UNPROTECTED OPENINGS: 148 SF (13.79 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 3.75 M x 3.75 M = MAX 14.06 MF (151 SF)  
 MINIMUM LIMITING DISTANCE PROVIDED: 3.75 M (12' 3-5/8")

**'REAR ELEVATION'**  
 EXPOSED BUILDING FACE (A): 1088 SF (99.28 MF)  
 UNPROTECTED OPENINGS: 540 SF (50.22 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 7.25 M x 7.25 M = MAX 52.56 MF (566 SF)  
 MINIMUM LIMITING DISTANCE PROVIDED: 7.25 M (23' 9-1/2")

**1 REAR ELEVATION**  
 Scale: 3/16" = 1'-0"

**CANTIRO**  
 HOMES  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 8 - VIEW II  
 UNIT 20- TYPE 4A**

AREA	3041 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL
	MM/DD/YY
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY
JOB REVISIONS	
MILESTONES	
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00020

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SHEET NO. **3** / **24**

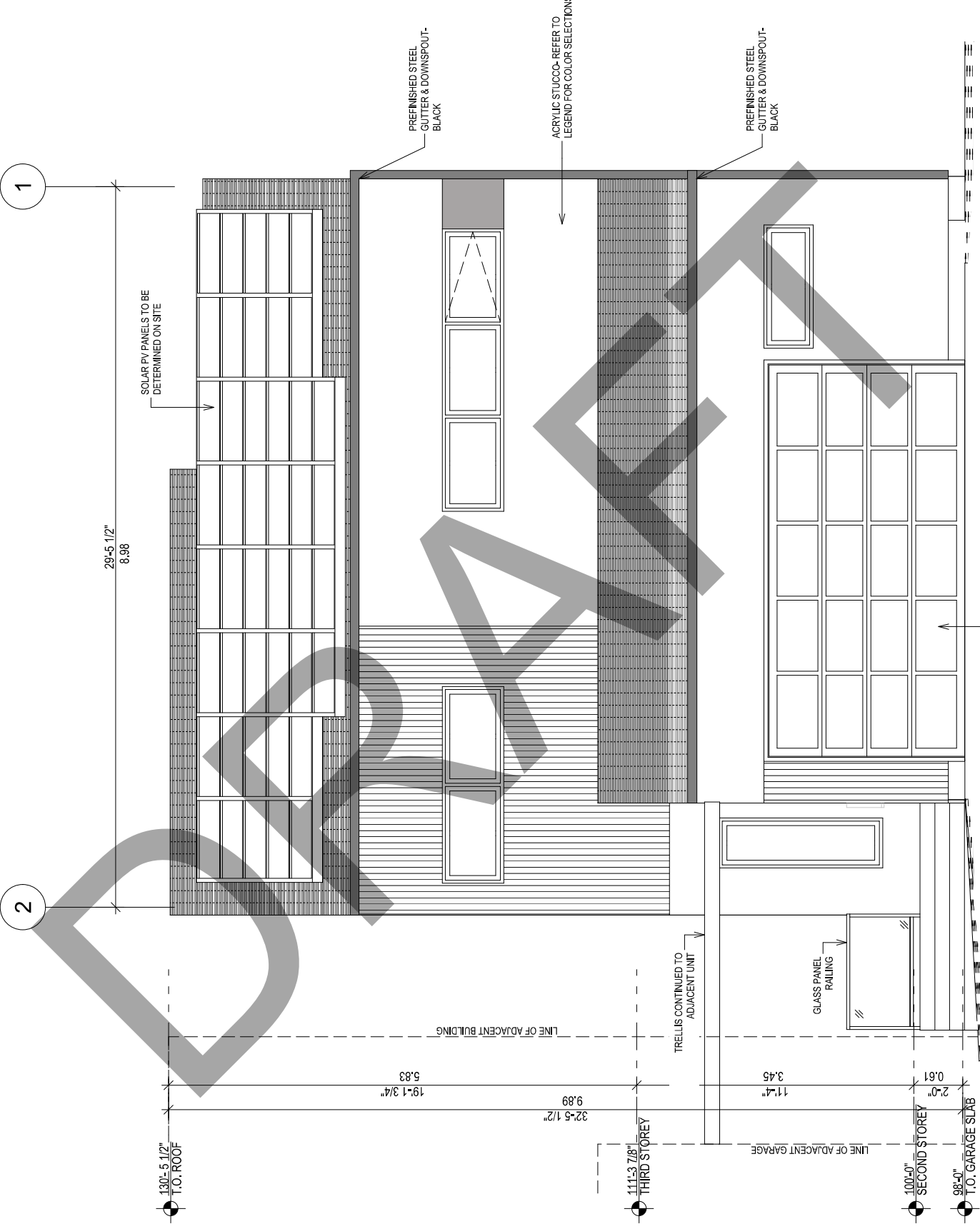
LAST UPDATED: 2024-09-20 - mdesjarlais

**WALL LEGEND**

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE  
 W/ LOW-E COATING & ARGON GAS FILLER  
 U VALUE ≤ 1.6  
 ER RATING ≥ 25

\*\* ALL WINDOWS ARE TO BE APEX  
 9100 SERIES WITH BLACK INTERIOR &  
 EXTERIOR FRAMES \*\*



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**

EXPOSED BUILDING FACE (A): 528 SF (49.06 MF)  
 UNPROTECTED OPENINGS: 176 SF (16.4 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 4.10 M x 4.10 M = MAX 16.81 MF (181 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 4.10 M (13' 5-1/2")

**'REAR ELEVATION'**

EXPOSED BUILDING FACE (A): 1354 SF (125.87 MF)  
 UNPROTECTED OPENINGS: 747 SF (69.44 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 8.40 M x 8.40 M = MAX 70.56 MF (759 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 8.40 M (27' 6-3/4")

**FRONT ELEVATION**  
 Scale: 3/16" = 1'-0"

1

Schedule B - DP001093 - Elevation Dwg - Materials

**CANTIRO HOMES**  
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 F - (780) 406-6197

**DUPLEX 8 - VIEW II**  
**UNIT 20- TYPE 4A**

**SIDE 2 ELEVATION**

AREA	3041 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
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PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY

INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY

JOB #	31-001-00020
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SPEC  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

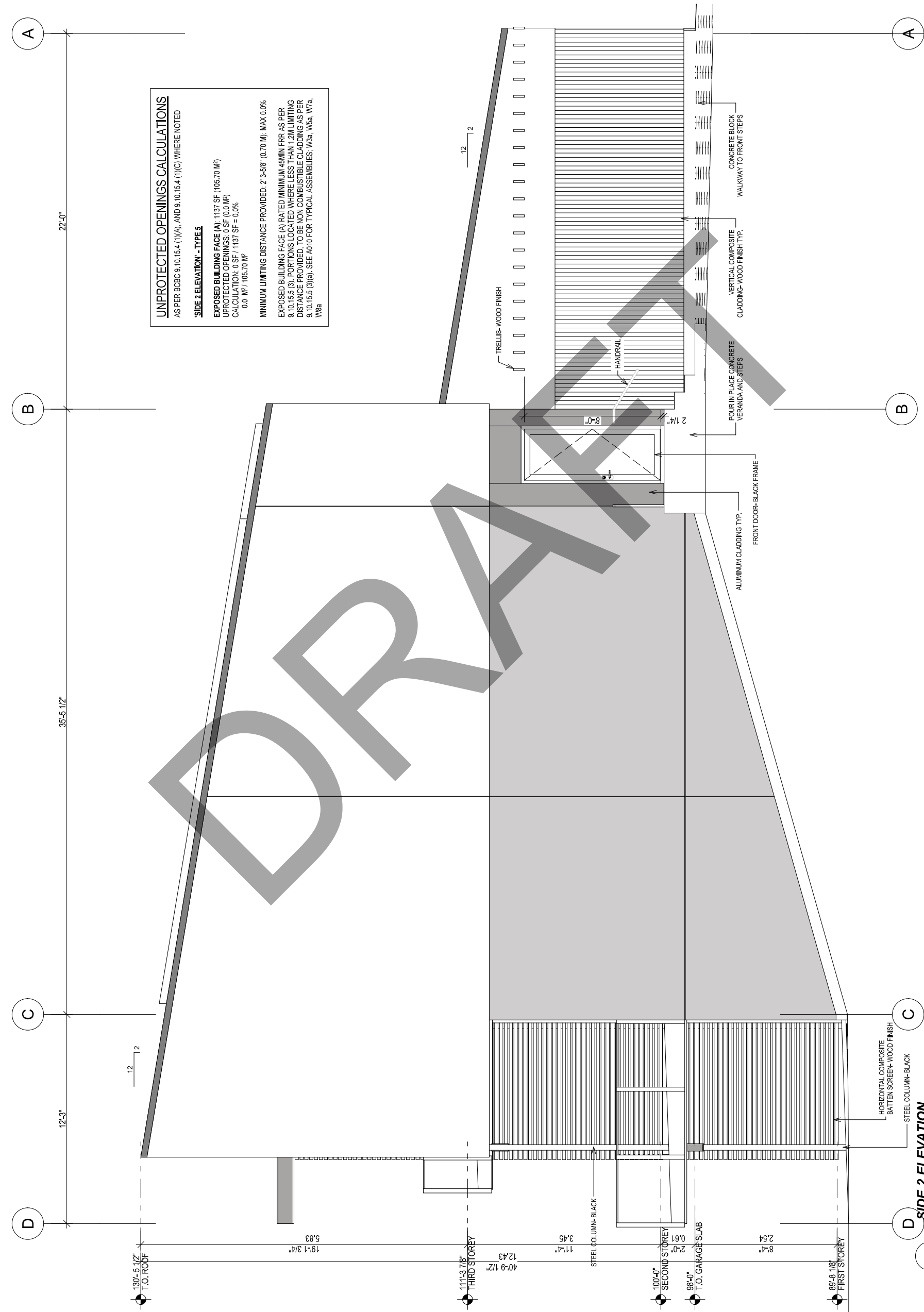
LOT  
 BLOCK  
 PLAN  
 PHASE

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SHEET NO. **4**

NO. **24**

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**1** SIDE 2 ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

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 F - (780) 406-6197

**DUPLEX 8 - VIEW II**  
**UNIT 20- TYPE 4A**

**SIDE 1 ELEVATION**

AREA	3041 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

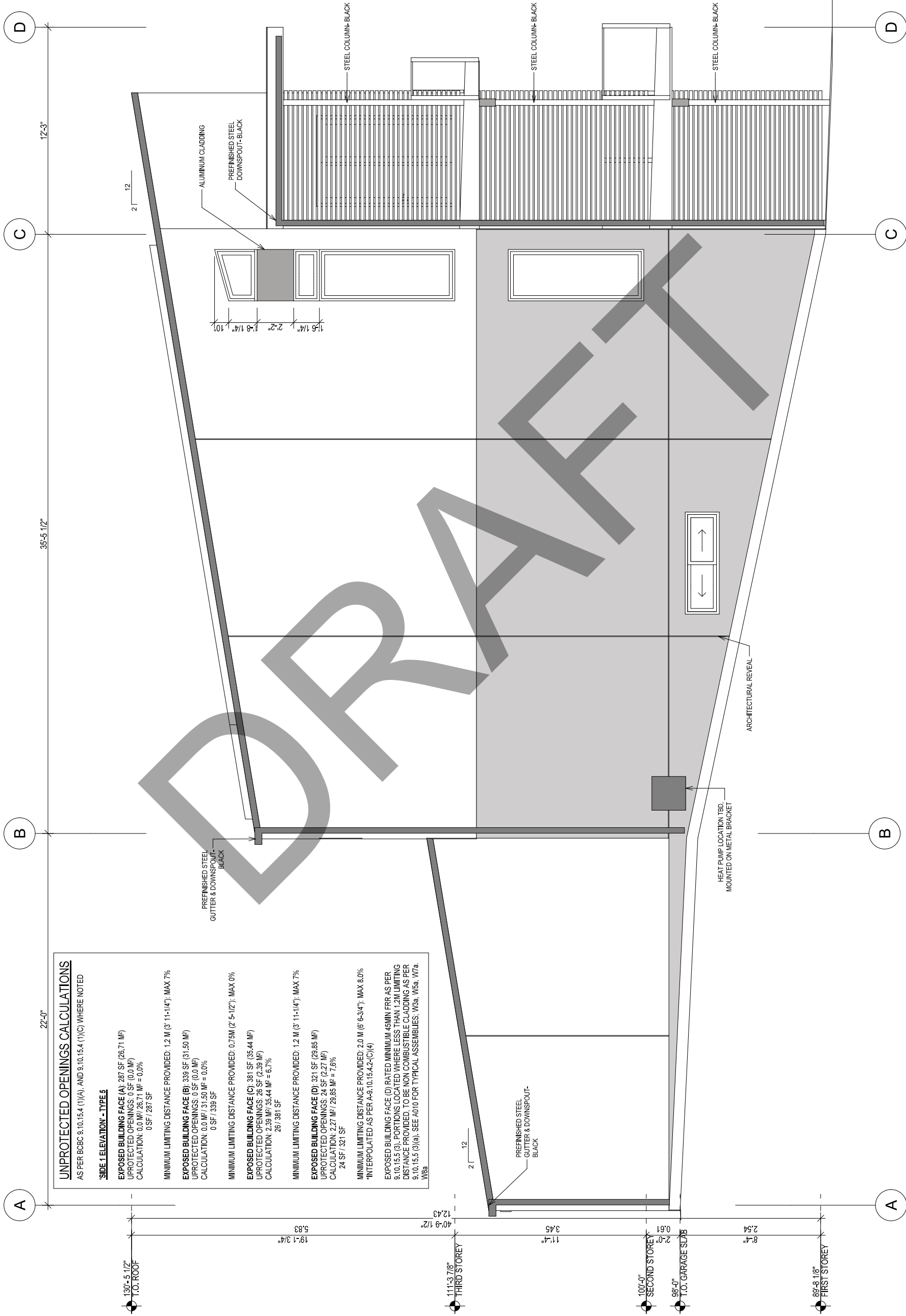
ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLK	BLK
PLN	PLN
PHS	PHS

JOB #	31-001-00020
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SHEET NO.	5
	24

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**SIDE 1 ELEVATION - TYPE 5**

**EXPOSED BUILDING FACE (A):** 287 SF (26.71 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 26.71 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4"); MAX 7%

**EXPOSED BUILDING FACE (B):** 339 SF (31.50 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 31.50 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 0.75M (2' 5-1/2"); MAX 0%

**EXPOSED BUILDING FACE (C):** 381 SF (35.44 MF)  
 UNPROTECTED OPENINGS: 26 SF (2.39 MF)  
 CALCULATION: 2.39 MF / 35.44 MF = 6.7%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4"); MAX 7%

**EXPOSED BUILDING FACE (D):** 321 SF (29.85 MF)  
 UNPROTECTED OPENINGS: 24 SF (2.27 MF)  
 CALCULATION: 2.27 MF / 29.85 MF = 7.6%

**MINIMUM LIMITING DISTANCE PROVIDED:** 2.0 M (6' 6-3/4"); MAX 8.0%

\*INTERPOLATED AS PER A-9.10.15.4.2-C(4)

**EXPOSED BUILDING FACE (E) RATED MINIMUM 45MIN FRR AS PER 9.10.15.5 (3). PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED TO BE NON-COMBUSTIBLE CLADDING AS PER 9.10.15.5 (5)(b). SEE A410 FOR TYPICAL ASSEMBLIES: W6a, W6a, W7a, W8a**

**1 SIDE 1 ELEVATION**  
 Scale: 3/16" = 1'-0"



**CANTIRO**  
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 Edmonton, Alberta. T5S 1G2  
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 F - (780) 406-6197

**TRIPLEX 1- VIEW III  
 UNIT 18- 4B**

AREA	3048 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL MM/DD/YY
MILESTONES	PRELIM MM/DD/YY
	PERMIT MM/DD/YY
	STAKE MM/DD/YY
	FINAL MM/DD/YY
	AS BUILT MM/DD/YY
JOB REVISIONS	INT (R1) MM/DD/YY
	INT (R2) MM/DD/YY
	INT (R3) MM/DD/YY
	INT (R4) MM/DD/YY
	INT (R5) MM/DD/YY
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
JOB #	31-001-00018

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SHEET NO. **3** / **24**

LAST UPDATED: 2024-09-26 - mdesjarlais

**WALL LEGEND**

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE  
 W/ LOW-E COATING & ARGON GAS FILLER  
 U VALUE ≤ 1.6  
 ER RATING ≥ 25

\*\* ALL WINDOWS ARE TO BE APEX  
 9100 SERIES WITH BLACK INTERIOR &  
 EXTERIOR FRAMES \*\*

**UNPROTECTED OPENINGS CALCULATIONS**

AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**FRONT ELEVATION**

EXPOSED BUILDING FACE (A): 530 SF (49.27 MF)

UNPROTECTED OPENINGS: 206 SF (19.15 MF)

MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):

4.40 M x 4.40 M = MAX 19.36 MF (208 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 4.40 M (14' 5-1/4")

**REAR ELEVATION**

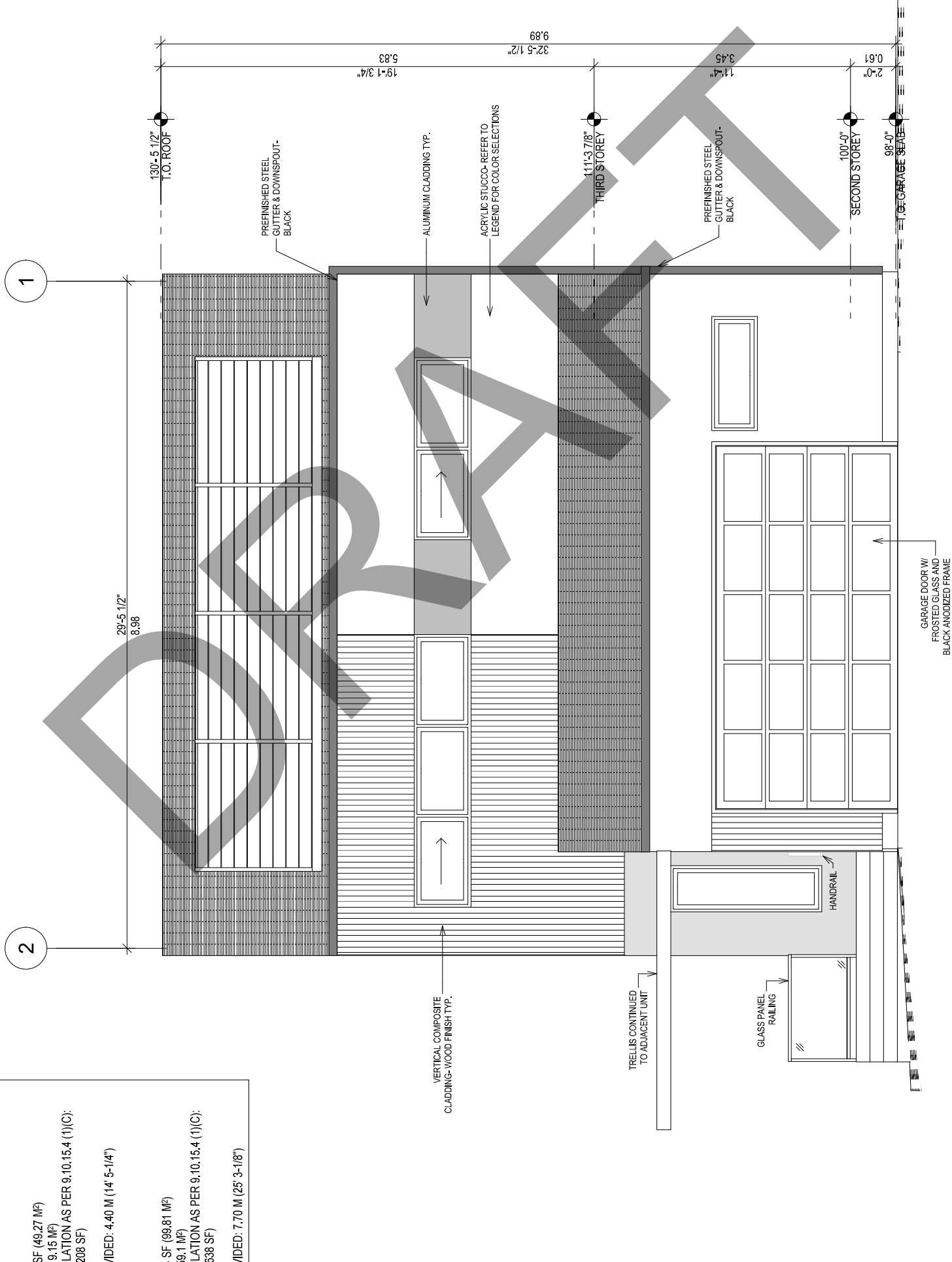
EXPOSED BUILDING FACE (A): 1074 SF (99.81 MF)

UNPROTECTED OPENINGS: 636 SF (59.1 MF)

MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):

7.70 M x 7.70 M = MAX 59.29 MF (638 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 7.70 M (25' 3-1/8")



**1** FRONT ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwg - Materials

**CANTIRO**  
 HOMES  
 17511-108 Ave  
 Edmonton, Alberta. T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**TRIPLEX 1- VIEW III  
 UNIT 18- 4B**

**SIDE 2 ELEVATION**

AREA	3048 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
PRELIM	MM/DD/YY	
PERMIT	MM/DD/YY	
STAKE	MM/DD/YY	
FINAL	MM/DD/YY	
AS BUILT	MM/DD/YY	
INT (R1)	MM/DD/YY	
INT (R2)	MM/DD/YY	
INT (R3)	MM/DD/YY	
INT (R4)	MM/DD/YY	
INT (R5)	MM/DD/YY	

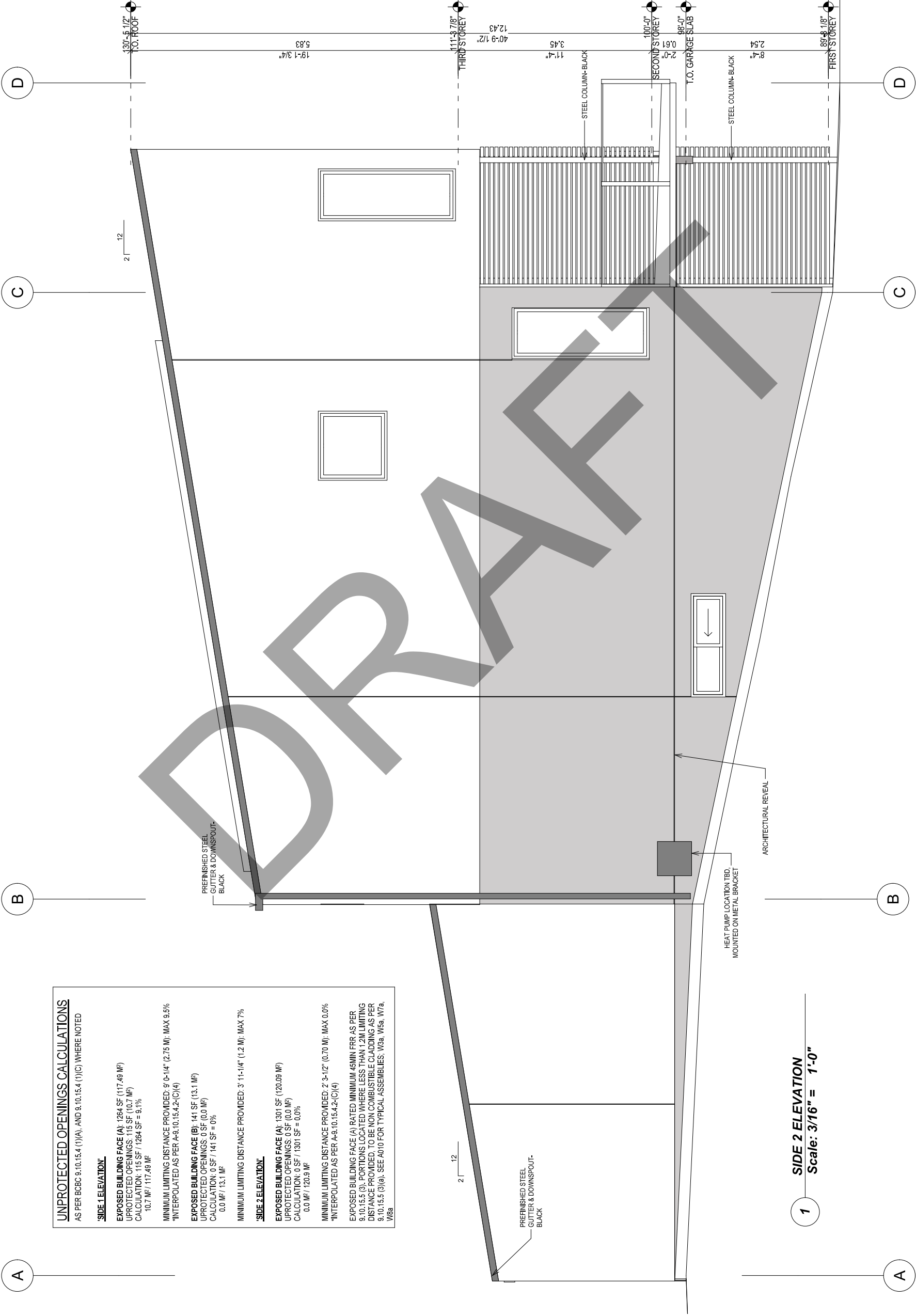
SPEC	4111 EVANS RD LAKE COUNTRY BC V4V 2E9
ADDRESS	
LOT	
BLK	
PLN	
PHS	

JOB #	31-001-00018
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SHEET NO.	4
	24

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'SIDE 1 ELEVATION'**

**EXPOSED BUILDING FACE (A):** 1264 SF (117.49 MF)  
 UNPROTECTED OPENINGS: 115 SF (10.7 MF)  
 CALCULATION: 115 SF / 1264 SF = 9.1%

**MINIMUM LIMITING DISTANCE PROVIDED:** 9'-0-1/4" (2.75 M); MAX 9.5%  
 \*INTERPOLATED AS PER A-3, 10, 15.4, 2-(C)(4)

**EXPOSED BUILDING FACE (B):** 141 SF (13.1 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0 SF / 141 SF = 0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 3'-11-1/4" (1.2 M); MAX 7%

**'SIDE 2 ELEVATION'**

**EXPOSED BUILDING FACE (A):** 1301 SF (120.09 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0 SF / 1301 SF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 2'-3-1/2" (0.70 M); MAX 0.0%  
 \*INTERPOLATED AS PER A-3, 10, 15.4, 2-(C)(4)

**EXPOSED BUILDING FACE (B):** PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED. TO BE NON-COMBUSTIBLE CLADDING AS PER 9.10.15.5 (3)(a). SEE A410 FOR TYPICAL ASSEMBLIES: W9a, W9a, W7a, W8a

**1 SIDE 2 ELEVATION**  
 Scale: 3/16" = 1'-0"

**CANTIRO HOMES**  
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 F - (780) 406-6197

**TRIPLEX 1- VIEW III  
 UNIT 18- 4B**

**SIDE 1 ELEVATION**

AREA	3048 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

SPEC  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

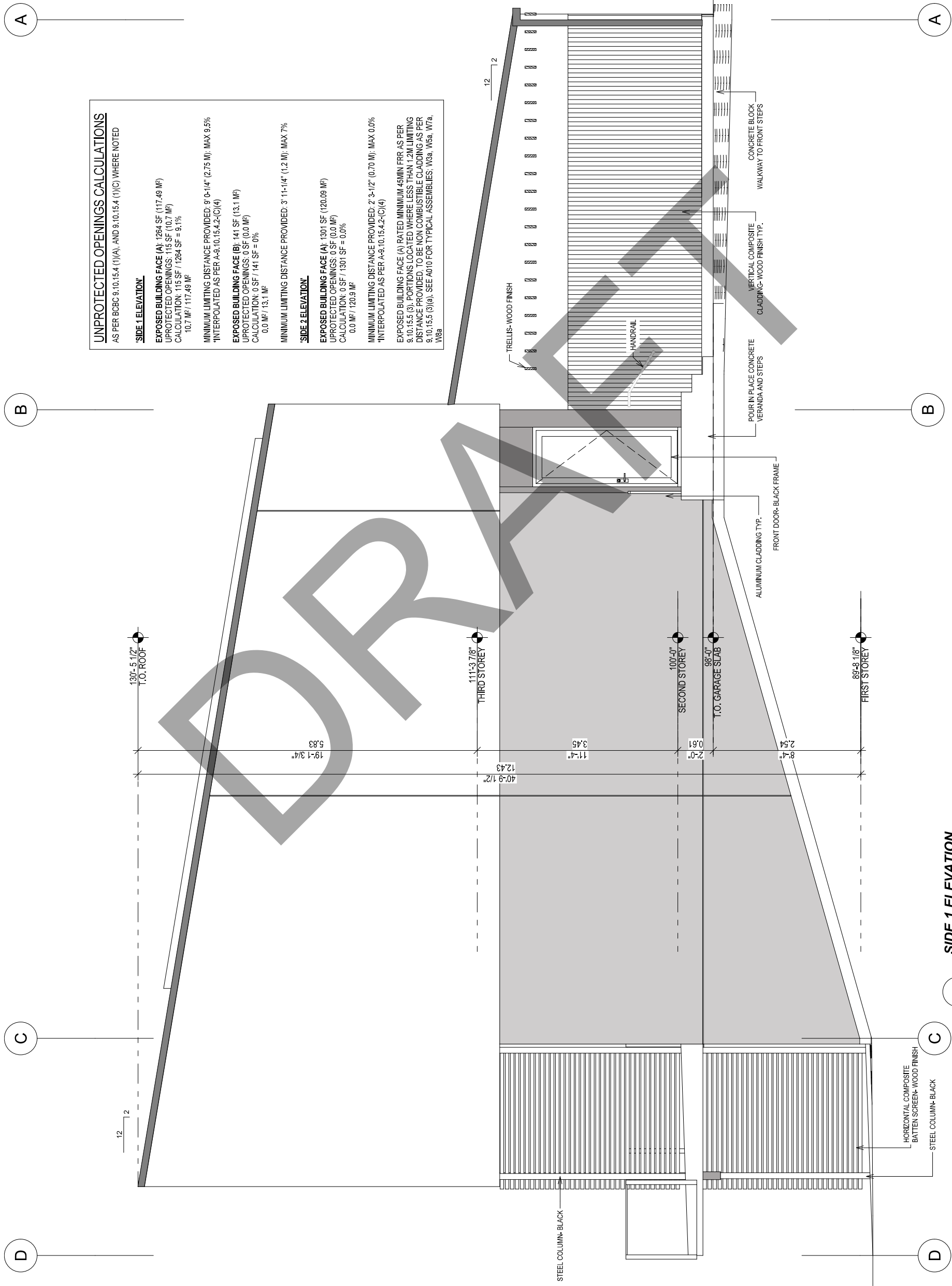
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE

JOB # 31-001-00018

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SHEET NO. 5 / 24

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**1 SIDE 1 ELEVATION**  
 Scale: 3/16" = 1'-0"

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 HOMES  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**TRIPLEX 1- VIEW III  
 UNIT 18-4B**

**REAR ELEVATION**

AREA	3048 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY

**SPEC**  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

LOT  
 BLK  
 PLAN  
 PHS  
 # 31-001-00018

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SHEET NO. **6** / **24**

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**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**

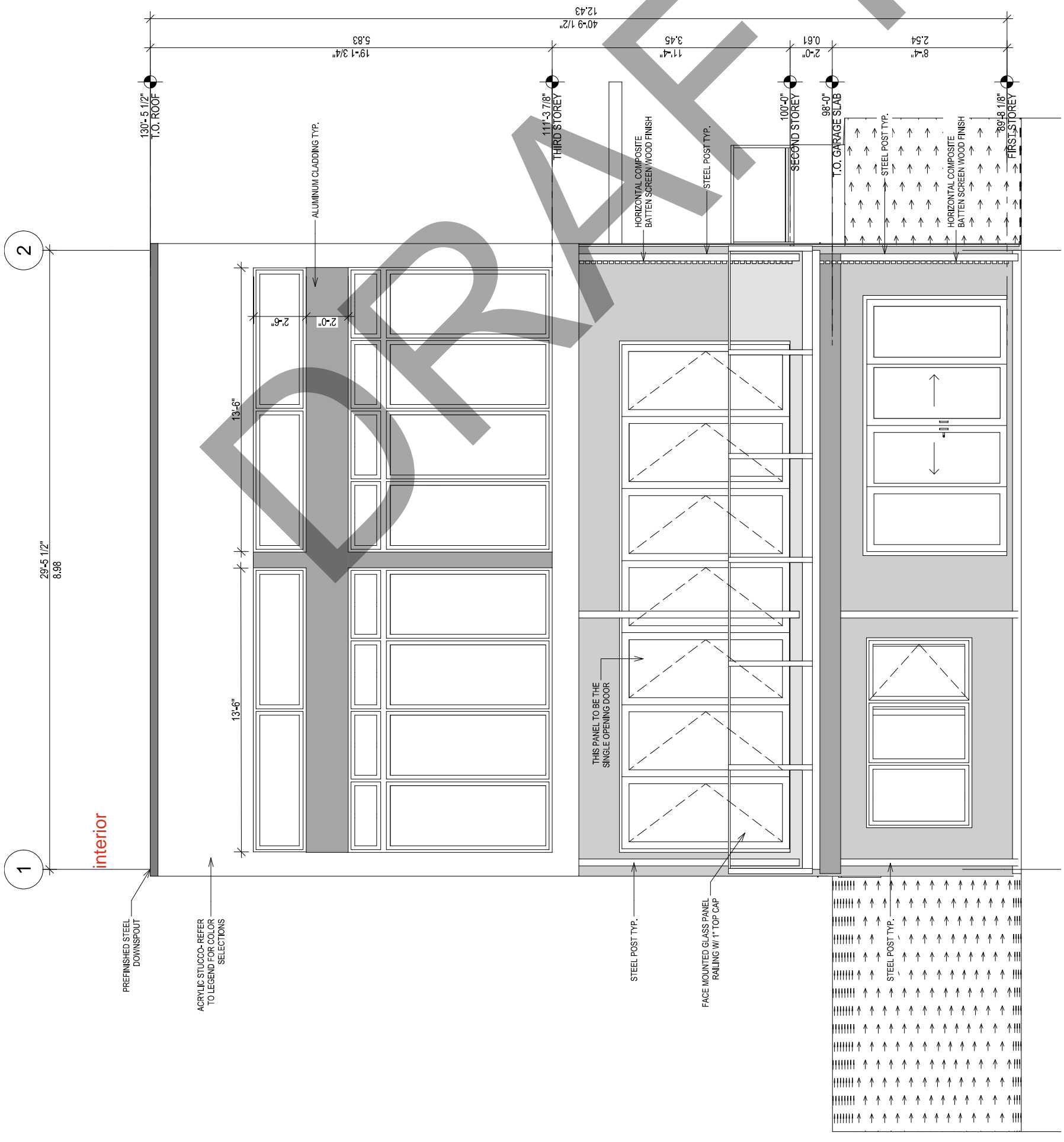
**EXPOSED BUILDING FACE (A):** 530 SF (49.27 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 206 SF (19.15 M<sup>2</sup>)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 4.40 M x 4.40 M = MAX 19.36 M<sup>2</sup> (208 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 4.40 M (14' 5-1/4")

**'REAR ELEVATION'**

**EXPOSED BUILDING FACE (A):** 1074 SF (99.81 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 636 SF (59.1 M<sup>2</sup>)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 7.70 M x 7.70 M = MAX 59.29 M<sup>2</sup> (638 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 7.70 M (25' 3-1/8")



**1** REAR ELEVATION  
 Scale: 3/16" = 1'-0"



17511-108 Ave  
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 F - (780) 406-6197

**DUPLEX 5 - WATERS'**  
**EDGE III**  
**UNIT 10- TYPE 5A**

**FRONT ELEVATION**

AREA	3209 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL 12/02/2022
PRELIM	MM/DD/YY
PERMIT	MM/DD/YY
STAKE	MM/DD/YY
FINAL	MM/DD/YY
AS BUILT	MM/DD/YY
INT (R1)	MM/DD/YY
INT (R2)	MM/DD/YY
INT (R3)	MM/DD/YY
INT (R4)	MM/DD/YY
INT (R5)	MM/DD/YY
SPEC	
ADDRESS	4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
#	31-001-00010

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SHEET NO. **3** / **24**

LAST UPDATED: 2024-09-24 - pdonaldson

**UNPROTECTED OPENINGS CALCULATIONS**

AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**

**EXPOSED BUILDING FACE (A):** 528 SF (49.06 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 176 SF (16.4 M<sup>2</sup>)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 4.10 M x 4.10 M = MAX 16.81 M<sup>2</sup> (181 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 4.10 M (13' 5-1/2")

**'REAR ELEVATION'**

**EXPOSED BUILDING FACE (A):** 1354 SF (125.87 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 747 SF (69.44 M<sup>2</sup>)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 8.40 M x 8.40 M = MAX 70.56 M<sup>2</sup> (759 SF)

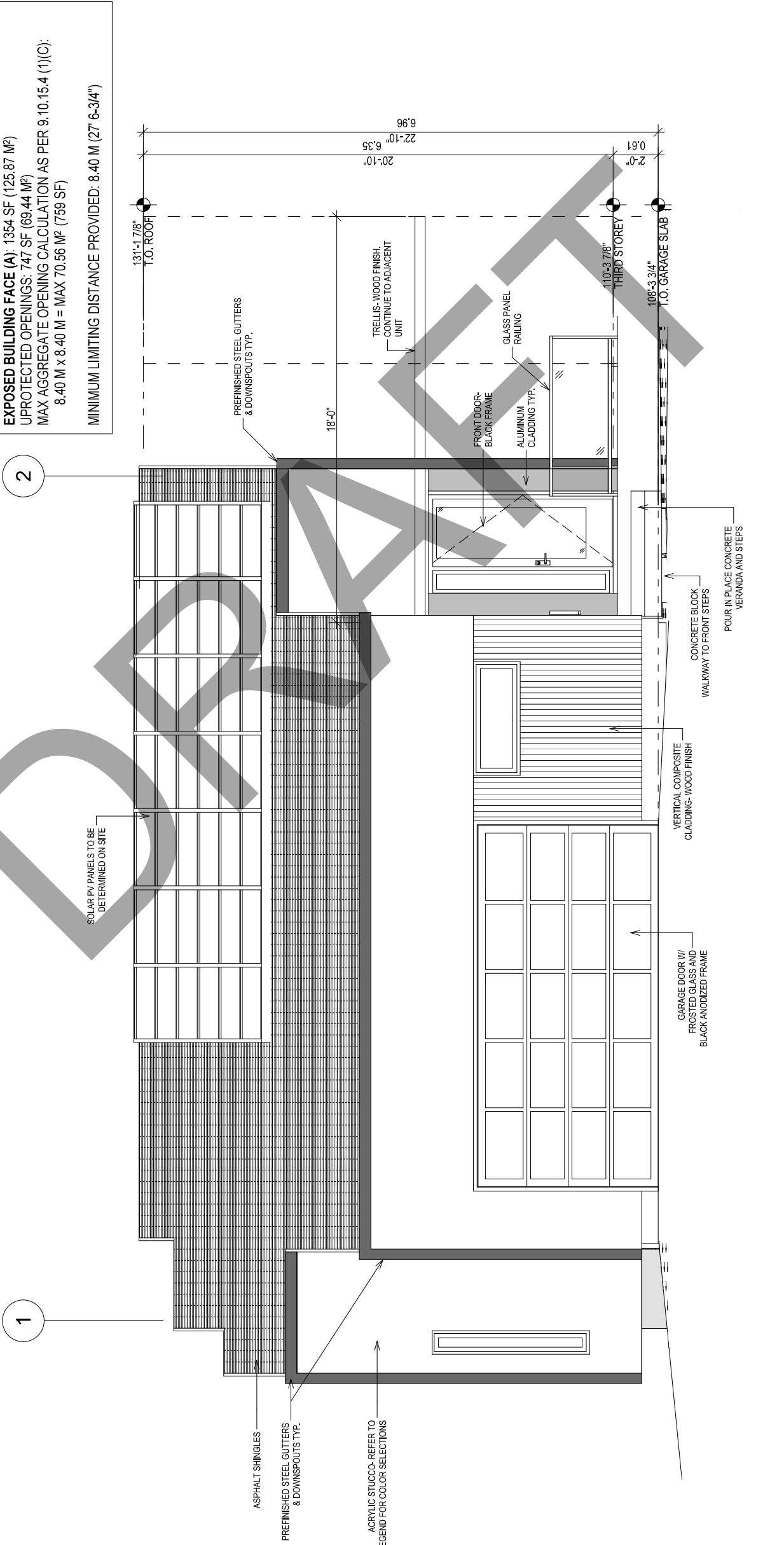
MINIMUM LIMITING DISTANCE PROVIDED: 8.40 M (27' 6-3/4")

**WALL LEGEND**

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE  
 W/ LOW-E COATING & ARGON GAS FILLER  
 U VALUE ≤ 1.6  
 ER RATING ≥ 25

\*\* ALL WINDOWS ARE TO BE APEX  
 9100 SERIES WITH BLACK INTERIOR &  
 EXTERIOR FRAMES \*\*



**1** FRONT ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**DUPLEX 5 - WATERS' EDGE III  
 UNIT 10- TYPE 5A**

**SIDE 2 ELEVATION**

AREA	3209 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	12/02/2022
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

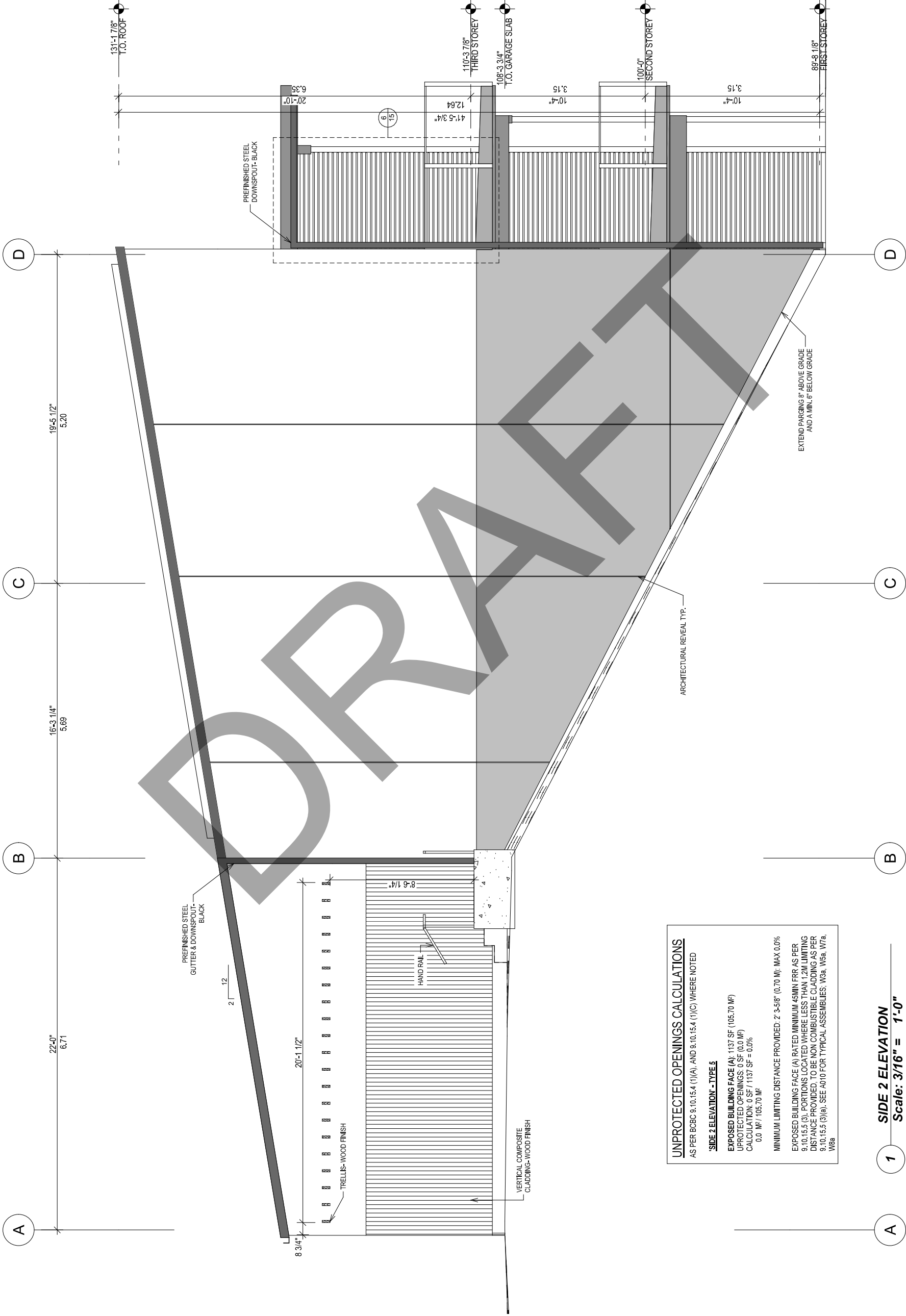
ADDRESS	SPEC
4111 EVANS RD	4111 EVANS RD
LAKE COUNTRY BC	LAKE COUNTRY BC
V4V 2E9	V4V 2E9
LOT	LOT
BLK	BLOCK
PLAN	PLAN
PHS	PHASE

JOB #	31-001-00010
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SHEET NO. **5** / **24**

LAST UPDATED: 2024-09-24 - pdonaltdson



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'SIDE 2 ELEVATION - TYPE 5**

EXPOSED BUILDING FACE (A): 1137 SF (105.70 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0 SF / 1137 SF = 0.0%

MINIMUM LIMITING DISTANCE PROVIDED: 2'-3'-8" (0.70 M); MAX 0.0%

EXPOSED BUILDING FACE (A) RATED MINIMUM 45MIN FRR AS PER 9.10.15.5 (3), PORTIONS LOCATED WHERE LESS THAN 1.2M LIMITING DISTANCE PROVIDED, TO BE NON-COMBUSTIBLE CLADDING AS PER 9.10.15.5 (3)(a). SEE A010 FOR TYPICAL ASSEMBLIES: W3a, W5a, W7a, W8a

**1** SIDE 2 ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
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**DUPLEX 5 - WATERS' EDGE III  
 UNIT 10- TYPE 5A**

**SIDE 1 ELEVATION**

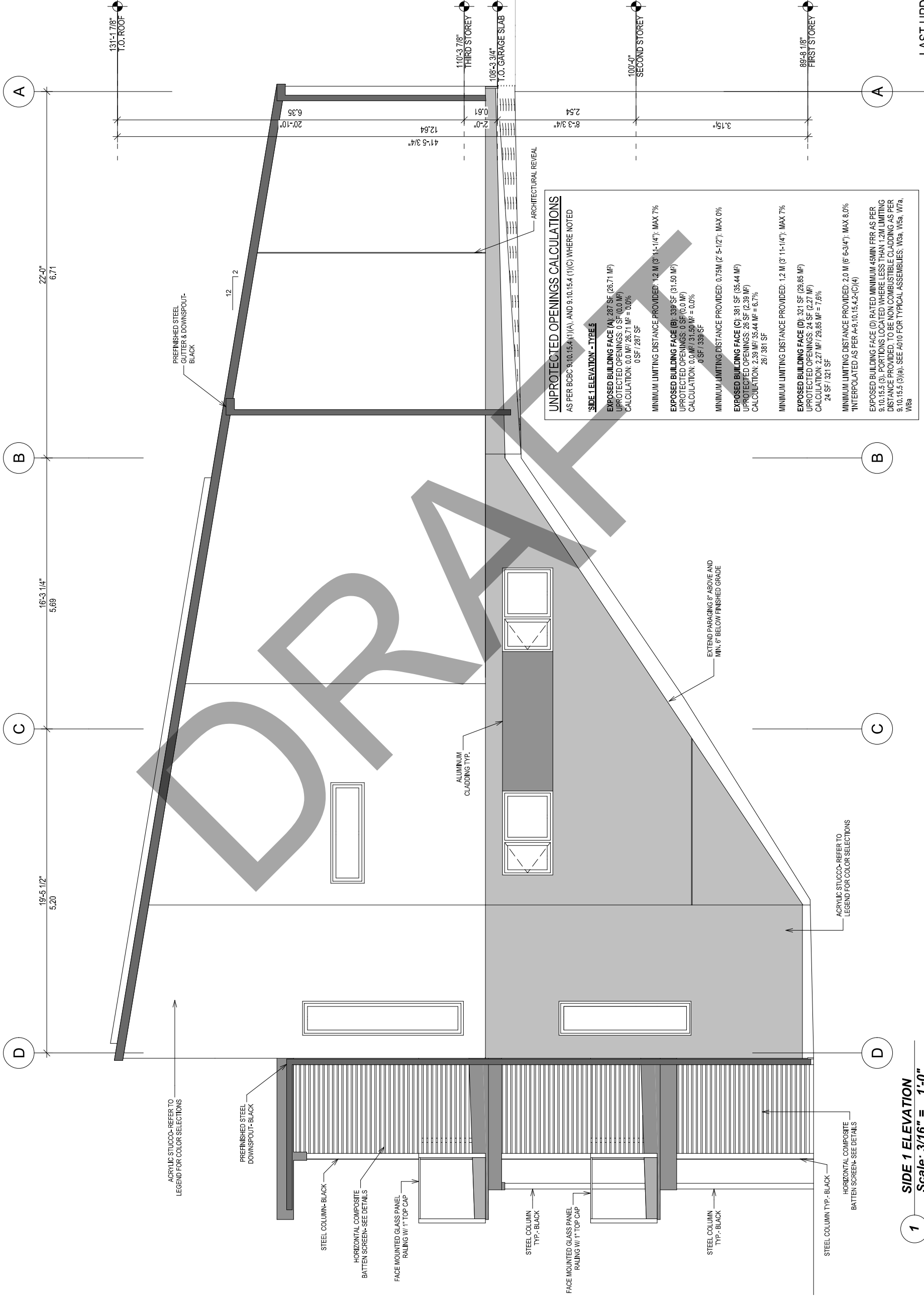
AREA	3209 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME
DRAFTER	MEL 12/02/2022

MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9	
LOT	LOT	
BLK	BLOCK	
PLN	PLAN	
PHS	PHASE	
JOB #	31-001-00010	

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SHEET NO. **4** / **24**

LAST UPDATED: 2024-09-24 - pdonaldson



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**SIDE 1 ELEVATION - TYPE 5**

**EXPOSED BUILDING FACE (A):** 287 SF (26.71 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 26.71 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (B):** 339 SF (31.50 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 31.50 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 0.75M (2' 5-1/2") MAX 0%

**EXPOSED BUILDING FACE (C):** 381 SF (35.44 MF)  
 UNPROTECTED OPENINGS: 26 SF (2.39 MF)  
 CALCULATION: 2.39 MF / 35.44 MF = 6.7%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (D):** 321 SF (29.85 MF)  
 UNPROTECTED OPENINGS: 24 SF (2.27 MF)  
 CALCULATION: 2.27 MF / 29.85 MF = 7.6%

**MINIMUM LIMITING DISTANCE PROVIDED:** 2.0 M (6' 6-3/4") MAX 8.0%

**INTERPOLATED AS PER A-9.10.15.4.2(C)(4)**  
 24 SF / 321 SF

**EXPOSED BUILDING FACE (E):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (F):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (G):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (H):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (I):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (J):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (K):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (L):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (M):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (N):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (O):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (P):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (Q):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (R):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (S):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (T):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (U):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (V):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (W):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (X):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (Y):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**EXPOSED BUILDING FACE (Z):** 451 SF (42.47 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0.0 MF / 42.47 MF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 1.2 M (3' 11-1/4") MAX 7%

**1** SIDE 1 ELEVATION  
 Scale: 3/16" = 1'-0"



**DUPLEX 5 - WATERS'**  
**EDGE III**  
**UNIT 10- TYPE 5A**

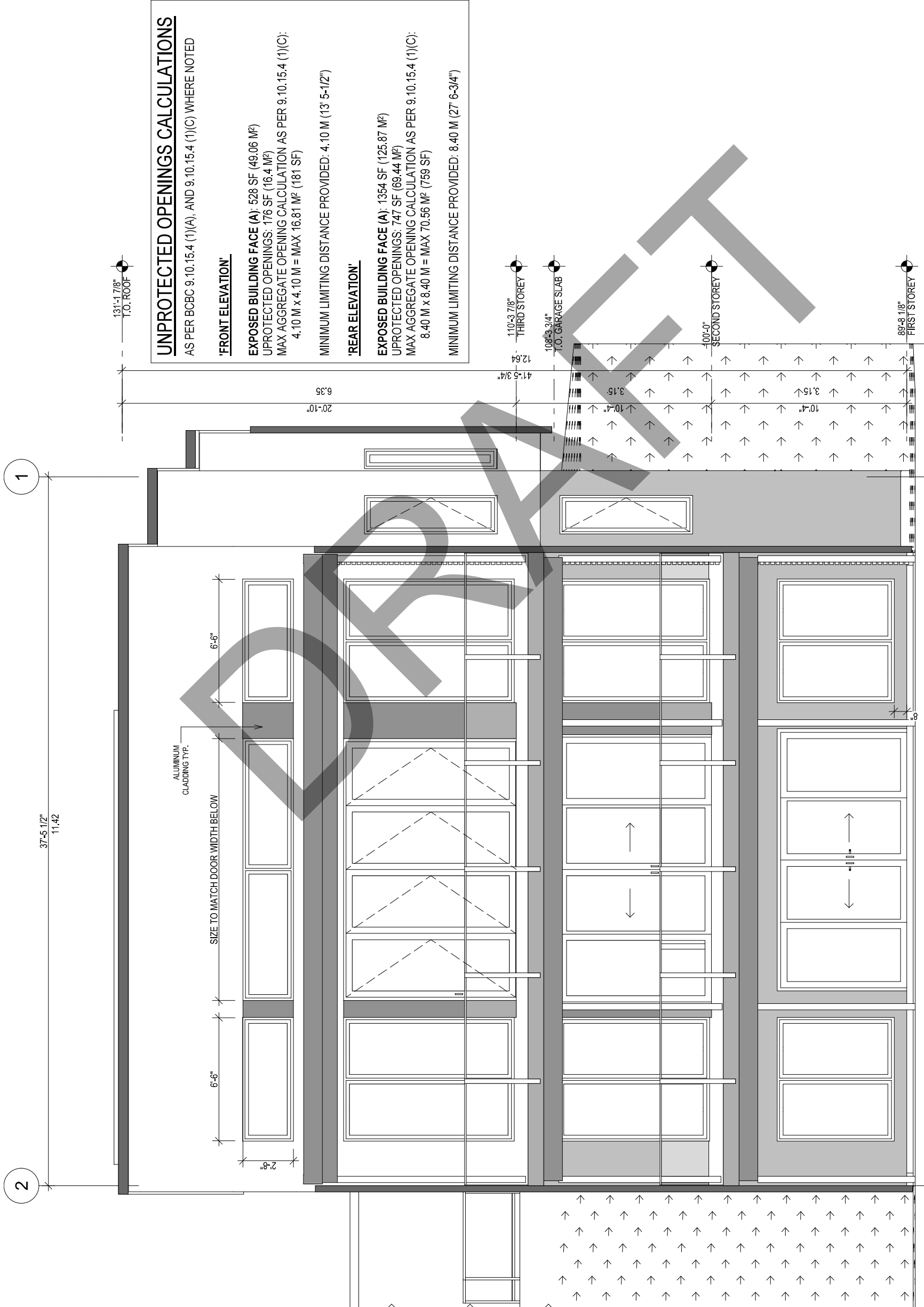
**REAR ELEVATION**

AREA	3209 Sq. Ft.	
SCALE	AS SHOWN	
SPEC	2022 SPEC	
SALES	FIRST NAME	
DRAFTER	MEL 12/02/2022	
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY
ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9	
LOT	LOT	
BLK	BLOCK	
PLN	PLAN	
PHS	PHASE	
#JOB	31-001-00010	

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SHEET NO. **6** / **24**

LAST UPDATED: 2024-09-24 - pdonaldson



**1 REAR ELEVATION**  
 Scale: 3/16" = 1'-0"

**CANTIRO**  
 HOMES

17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**TRIPLEX 1 - NEST  
 UNIT 16**

**FRONT ELEVATION**

AREA	3602 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	STAKE	MM/DD/YY
	FINAL	MM/DD/YY
	AS BUILT	MM/DD/YY
JOB REVISIONS	INT (R1)	MM/DD/YY
	INT (R2)	MM/DD/YY
	INT (R3)	MM/DD/YY
	INT (R4)	MM/DD/YY
	INT (R5)	MM/DD/YY

SPEC  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

LOT	
BLK	BLOCK
PLN	PLAN
PHS	PHASE

JOB # 31-001-00016

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SHEET NO. 3 / 24

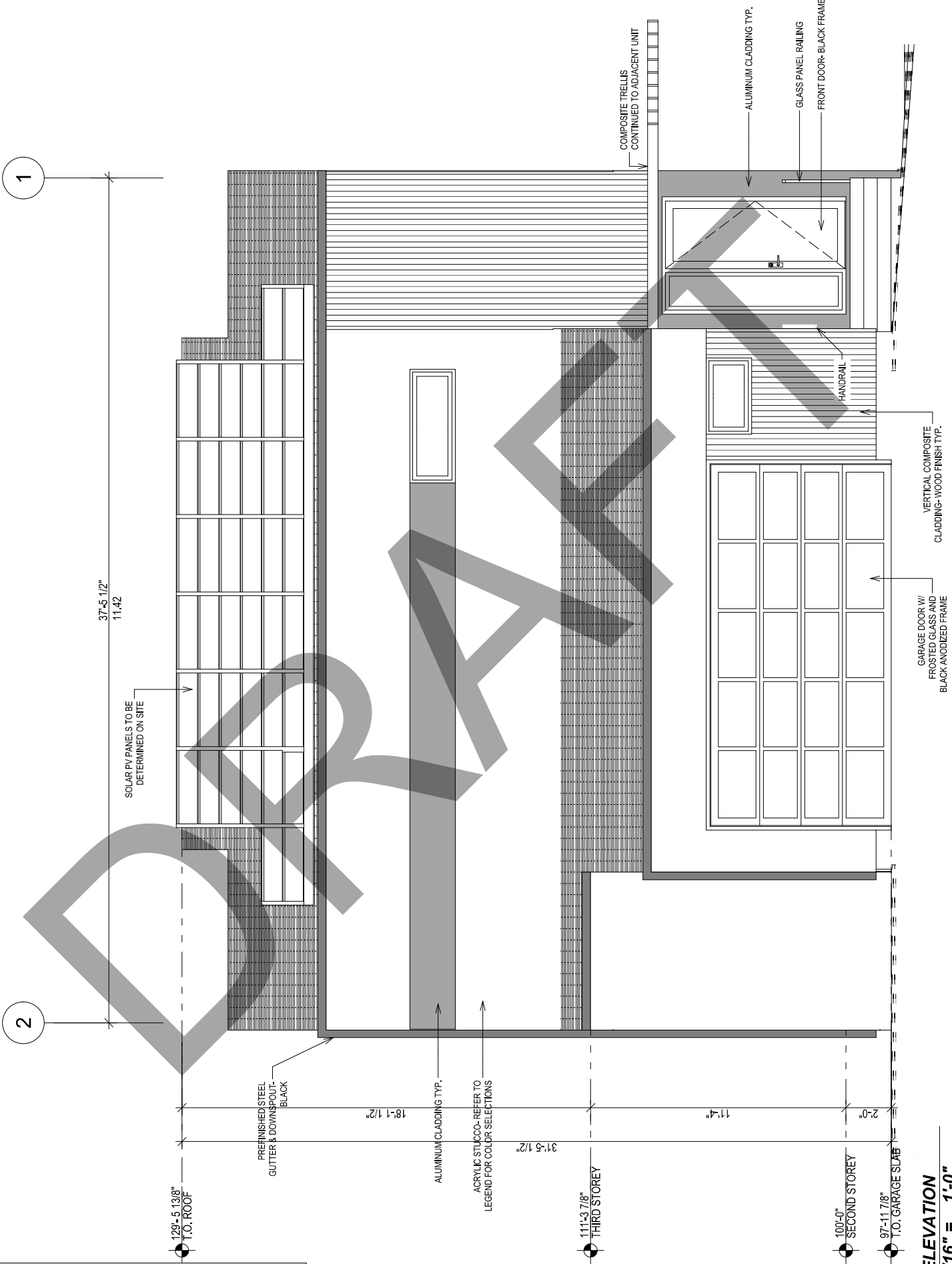
LAST UPDATED: 2024-10-01 - pdonaldson

**WALL LEGEND**

[Pattern]	ACRYLIC STUCCO- IVORY
[Pattern]	ACRYLIC STUCCO- DARK GREY
[Pattern]	ALUMINUM CLADDING- BLACK
[Pattern]	COMPOSITE CLADDING- WOOD FINISH

ALL WINDOWS ARE TRIPLE PANE  
 W/ LOW-E COATING & ARGON GAS FILLER  
 U VALUE ≤ 1.6  
 ER RATING ≥ 25

\*\* ALL WINDOWS ARE TO BE APEX  
 9100 SERIES WITH BLACK INTERIOR &  
 EXTERIOR FRAMES \*\*



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**

**EXPOSED BUILDING FACE (A):** 185 SF (17.16 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 29 SF (2.7 M<sup>2</sup>)  
 CALCULATION: 29 SF / 185 SF = 15.7%

**MINIMUM LIMITING DISTANCE PROVIDED:** 3.5 M (11' 5-3/4") MAX 15.75%

**EXPOSED BUILDING FACE (B):** 528 SF (49.04 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 123 SF (11.41 M<sup>2</sup>)  
 CALCULATION: 123 SF / 528 SF = 23.3%

**MINIMUM LIMITING DISTANCE PROVIDED:** 5.0 M (16' 4-3/4") MAX 26%

**'REAR ELEVATION'**

**EXPOSED BUILDING FACE (A):** 1309 SF (121.69 M<sup>2</sup>)  
 UNPROTECTED OPENINGS: 770 SF (71.55 M<sup>2</sup>)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 8.50 M x 8.50 M = MAX 72.25 M<sup>2</sup> (777 SF)

**MINIMUM LIMITING DISTANCE PROVIDED:** 8.5 M (27' 10-5/8")

**FRONT ELEVATION**  
 Scale: 3/16" = 1'-0"

1

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
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**TRIPLEX 1 - NEST  
 UNIT 16**

**SIDE 2 ELEVATION**

AREA	3602 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

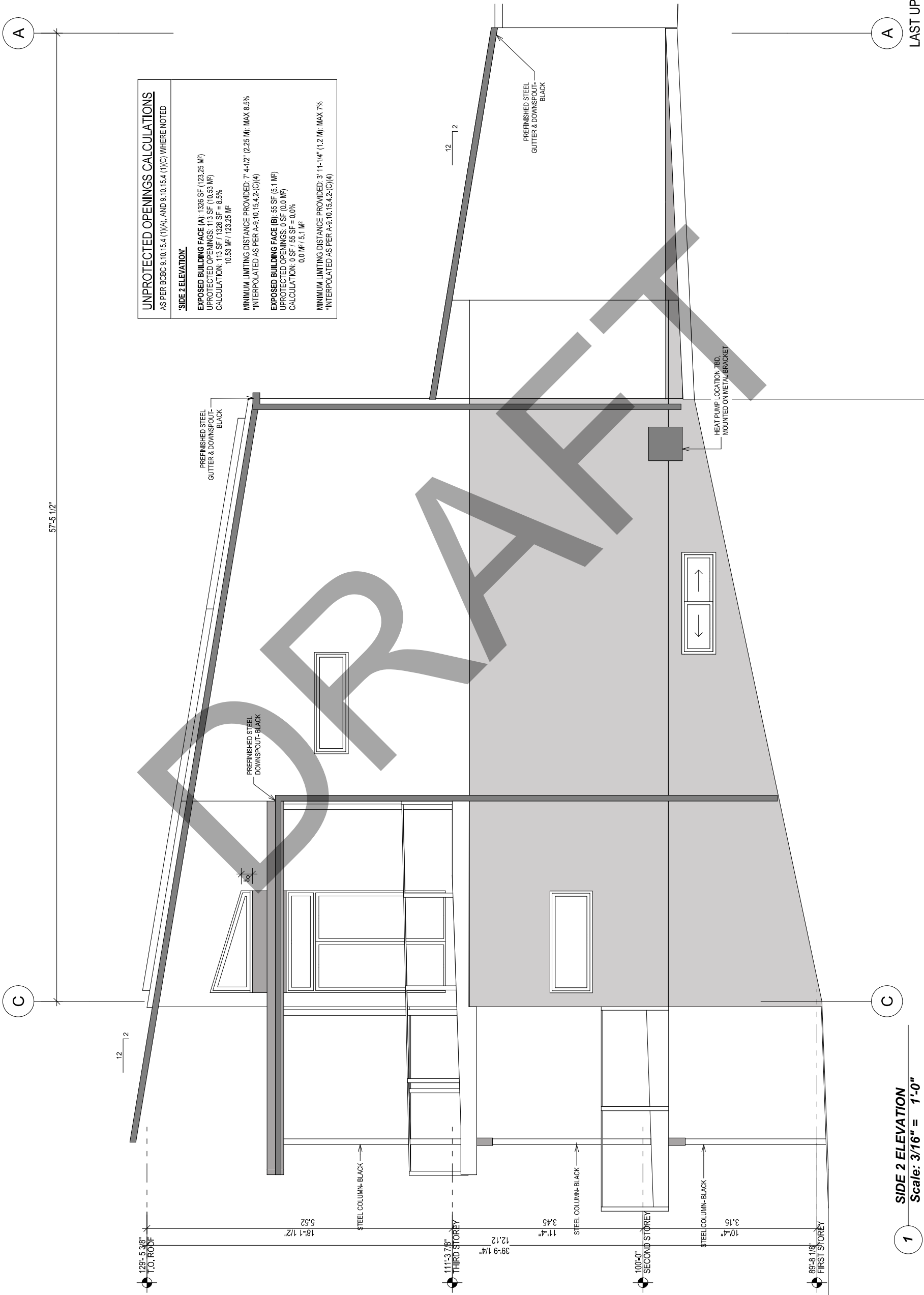
DRAFTER	MEL	MM/DD/YY
PRELIM	MM/DD/YY	
PERMIT	MM/DD/YY	
STAKE	MM/DD/YY	
FINAL	MM/DD/YY	
AS BUILT	MM/DD/YY	
INT (R1)	MM/DD/YY	
INT (R2)	MM/DD/YY	
INT (R3)	MM/DD/YY	
INT (R4)	MM/DD/YY	
INT (R5)	MM/DD/YY	

ADDRESS	SPEC 4111 EVANS RD LAKE COUNTRY BC V4V 2E9
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE
Job #	31-001-00016

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SHEET NO. **4** / **24**

LAST UPDATED: 2024-10-01 - pdonaldson



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**SIDE 2 ELEVATION**

**EXPOSED BUILDING FACE (A):** 1326 SF (123.25 MF)  
 UNPROTECTED OPENINGS: 113 SF (10.53 MF)  
 CALCULATION: 113 SF / 1326 SF = 8.5%

**EXPOSED BUILDING FACE (B):** 55 SF (5.1 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0 SF / 55 SF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 7' 4-1/2" (2.25 M), MAX 8.5%  
 \*INTERPOLATED AS PER A-3,10.15.4.2-(C)(4)

**MINIMUM LIMITING DISTANCE PROVIDED:** 3' 11-1/4" (1.2 M), MAX 7%  
 \*INTERPOLATED AS PER A-3,10.15.4.2-(C)(4)

**1 SIDE 2 ELEVATION**  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwgs - Materials

**CANTIRO HOMES**  
 17511-108 Ave  
 Edmonton, Alberta, T5S 1G2  
 T - (780) 406-6195  
 F - (780) 406-6197

**TRIPLEX 1 - NEST  
 UNIT 16**

**SIDE 1 ELEVATION**

AREA	3602 Sq. Ft.
SCALE	AS SHOWN
SPEC	2022 SPEC
SALES	FIRST NAME

DRAFTER	MEL	MM/DD/YY
PRELIM		MM/DD/YY
PERMIT		MM/DD/YY
STAKE		MM/DD/YY
FINAL		MM/DD/YY
AS BUILT		MM/DD/YY
INT (R1)		MM/DD/YY
INT (R2)		MM/DD/YY
INT (R3)		MM/DD/YY
INT (R4)		MM/DD/YY
INT (R5)		MM/DD/YY

SPEC  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

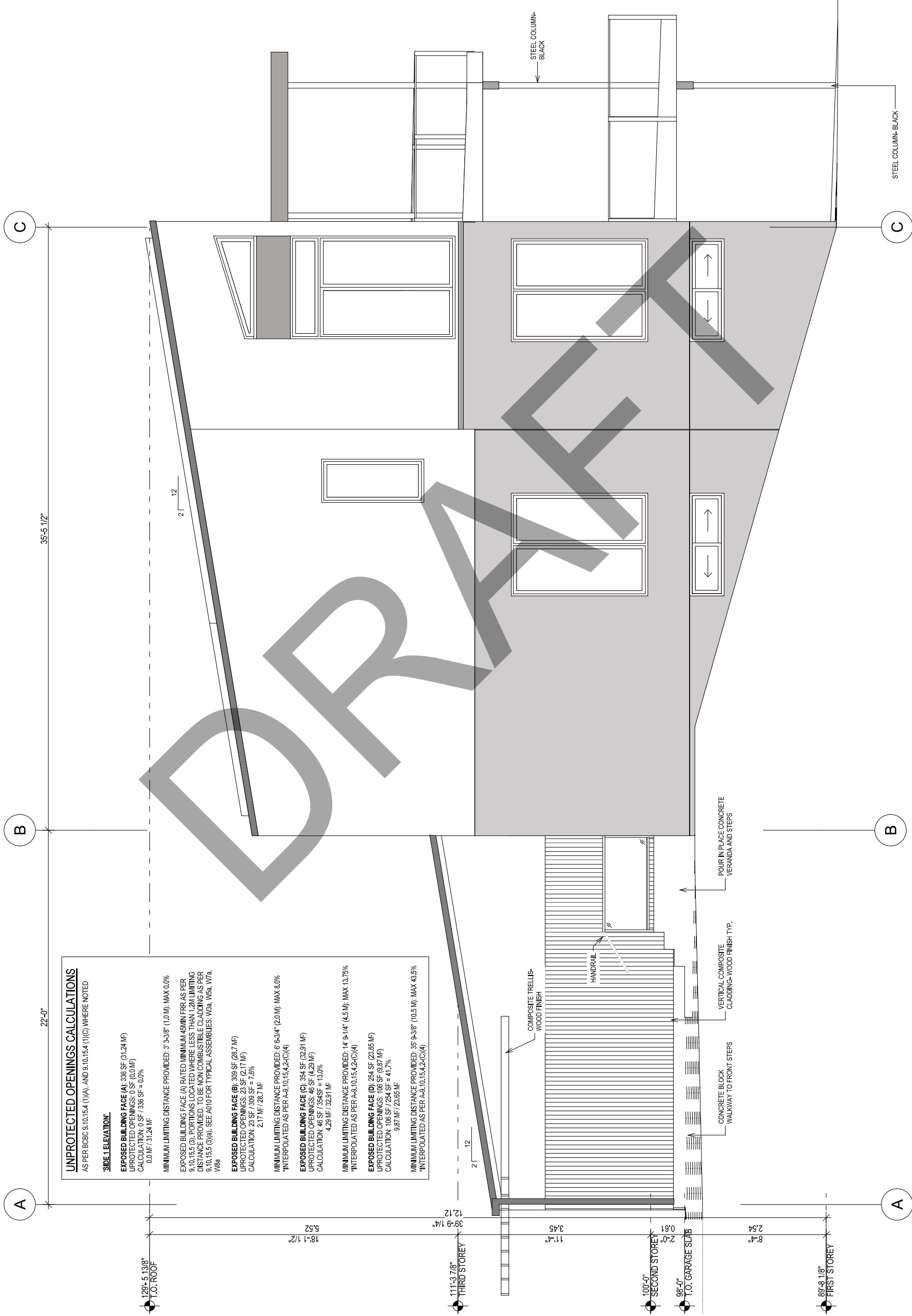
LOT	LOT
BLK	BLOCK
PLN	PLAN
PHS	PHASE

JOB # 31-001-00016

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SHEET NO. 5 24

LAST UPDATED: 2024-10-01 - pdonaldson



**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER CBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**SIDE 1 ELEVATION**

**EXPOSED BUILDING FACE (A):** 336 SF (31.24 MF)  
 UNPROTECTED OPENINGS: 0 SF (0.0 MF)  
 CALCULATION: 0 SF / 336 SF = 0.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 3'-3-3/8" (1.0 M); MAX 0.0%

**EXPOSED BUILDING FACE (B):** 309 SF (28.7 MF)  
 UNPROTECTED OPENINGS: 23 SF (2.17 MF)  
 CALCULATION: 23 SF / 309 SF = 7.6%

**MINIMUM LIMITING DISTANCE PROVIDED:** 6'-3-3/4" (2.0 M); MAX 8.0%

**EXPOSED BUILDING FACE (C):** 354 SF (32.91 MF)  
 UNPROTECTED OPENINGS: 46 SF (4.29 MF)  
 CALCULATION: 46 SF / 354 SF = 13.0%

**MINIMUM LIMITING DISTANCE PROVIDED:** 14'-9-1/4" (4.5 M); MAX 13.75%

**EXPOSED BUILDING FACE (D):** 254 SF (23.65 MF)  
 UNPROTECTED OPENINGS: 106 SF (9.87 MF)  
 CALCULATION: 106 SF / 254 SF = 41.7%

**MINIMUM LIMITING DISTANCE PROVIDED:** 35'-9-3/8" (10.5 M); MAX 43.5%

1 SIDE 1 ELEVATION  
 Scale: 3/16" = 1'-0"

Schedule B - DP001093 - Elevation Dwg - Materials

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 F - (780) 406-6197

**TRIPLEX 1 - NEST  
 UNIT 16**

**REAR ELEVATION**

AREA 3602 Sq. Ft.  
 SCALE AS SHOWN  
 SPEC 2022 SPEC  
 SALES FIRST NAME

DRAFTER	MEL	MM/DD/YY
PRELIM	MM/DD/YY	
PERMIT	MM/DD/YY	
STAKE	MM/DD/YY	
FINAL	MM/DD/YY	
AS BUILT	MM/DD/YY	
INT (R1)	MM/DD/YY	
INT (R2)	MM/DD/YY	
INT (R3)	MM/DD/YY	
INT (R4)	MM/DD/YY	
INT (R5)	MM/DD/YY	

SPEC  
 4111 EVANS RD  
 LAKE COUNTRY BC  
 V4V 2E9

LOT  
 BLOCK  
 PLAN  
 PHASE

JOB # 31-001-00016

CANTIRO HOMES RESERVES ALL RIGHTS INCLUDING THAT OF REPRODUCTION OF THIS PUBLISHED PLAN

SHEET NO. **6** / **24**

LAST UPDATED: 2024-10-01 - pdonaldson

**UNPROTECTED OPENINGS CALCULATIONS**  
 AS PER BCBC 9.10.15.4 (1)(A), AND 9.10.15.4 (1)(C) WHERE NOTED

**'FRONT ELEVATION'**  
**EXPOSED BUILDING FACE (A):** 185 SF (17.16 MF)  
 UPROTECTED OPENINGS: 29 SF (2.7 MF)  
 CALCULATION: 29 SF / 185 SF = 15.7%  
 2.70 MF / 17.16 MF

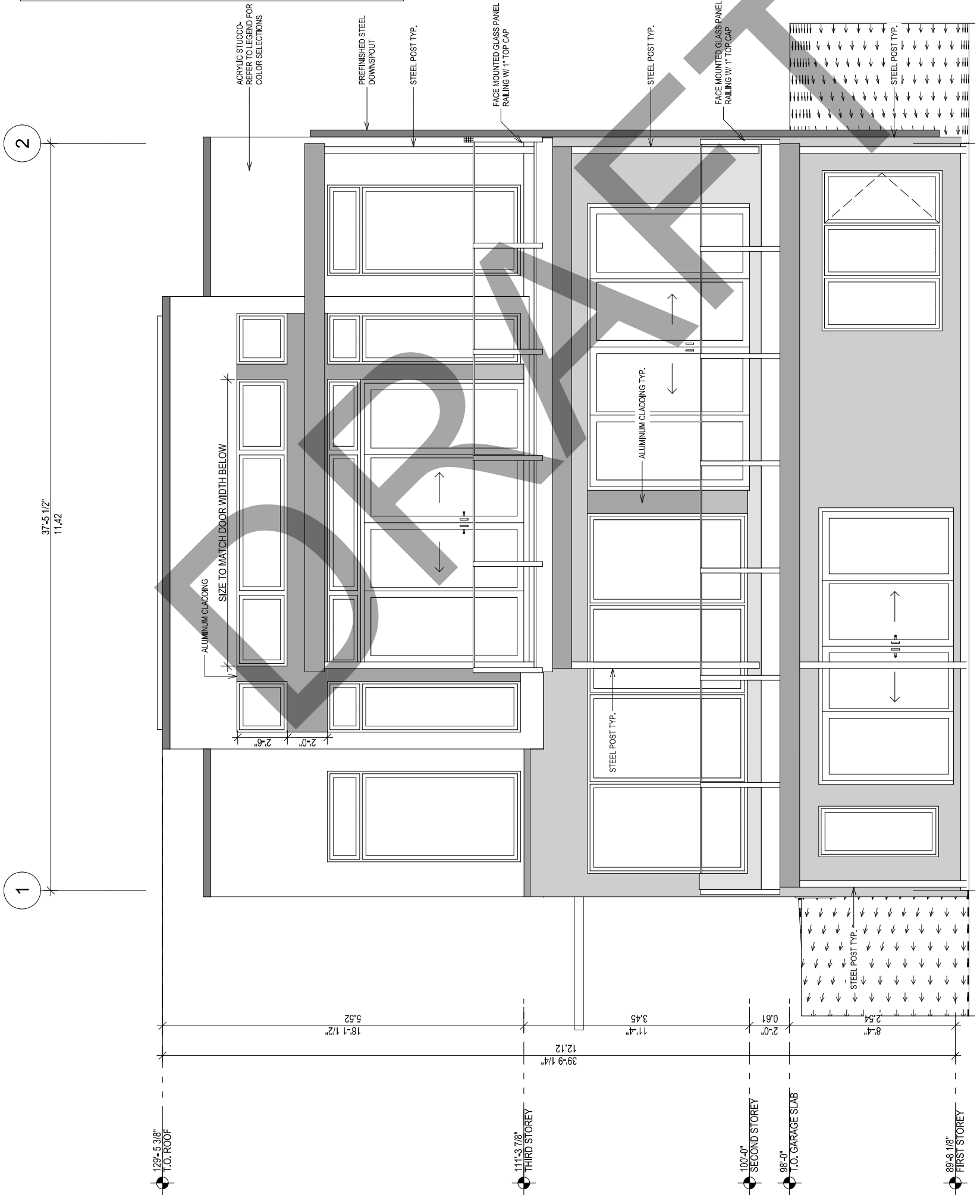
MINIMUM LIMITING DISTANCE PROVIDED: 3.5 M (11' 5-3/4") MAX 15.75%

**EXPOSED BUILDING FACE (B):** 528 SF (49.04 MF)  
 UPROTECTED OPENINGS: 123 SF (11.41 MF)  
 CALCULATION: 123 SF / 528 SF = 23.3%  
 11.41 MF / 49.04 MF

MINIMUM LIMITING DISTANCE PROVIDED: 5.0 M (16' 4-3/4") MAX 26%

**'REAR ELEVATION'**  
**EXPOSED BUILDING FACE (A):** 1309 SF (121.69 MF)  
 UPROTECTED OPENINGS: 770 SF (71.55 MF)  
 MAX AGGREGATE OPENING CALCULATION AS PER 9.10.15.4 (1)(C):  
 8.50 M x 8.50 M = MAX 72.25 MF (777 SF)

MINIMUM LIMITING DISTANCE PROVIDED: 8.5 M (27' 10-5/8")



**1 REAR ELEVATION**  
 Scale: 3/16" = 1'-0"

PROJECT PLANT SCHEDULE:

Table with columns: COMMON NAME, BOTANICAL NAME, CONTAINER, CAL. (MM), HGT. (M), QTY. Lists various tree species like Acer rubrum, Pinus cembra, etc.

Table with columns: COMMON NAME, BOTANICAL NAME, CONTAINER, CAL. (MM), HGT. (M), QTY. Lists shrub species like Amelanchier alnifolia, Artemisia tridentata, etc.

Table with columns: COMMON NAME, BOTANICAL NAME, CONTAINER, CAL. (MM), HGT. (M), QTY. Lists ornamental grasses like Bouteloua gracilis, Deschampsia cespitosa, etc.

Table with columns: COMMON NAME, BOTANICAL NAME, CONTAINER, CAL. (MM), HGT. (M), QTY. Lists perennials like Achillea millefolium, Artemisia schmidtiana, etc.

Table with columns: COMMON NAME, BOTANICAL NAME, CONTAINER, CAL. (MM), HGT. (M), QTY. Lists ground covers like Wild Strawberry, Blue Hills Meadow Grass, etc.

NOTES:

A. GENERAL NOTES: 1. THIS DRAWING PACKAGE IS TO BE READ IN CONJUNCTION WITH THE WRITTEN SPECIFICATIONS, DRAWINGS, AND OTHER DETAILS AS ISSUED FOR THIS PROJECT. 2. THE CONTRACTOR SHALL VISIT THE SITE TO CONFIRM SITE CONDITIONS PRIOR TO SUBMITTING BIDS...

B. PERMITS, STANDARDS AND TESTING: 1. THE CONTRACTOR IS TO ENSURE THAT ALL NECESSARY ARRANGEMENTS ARE MADE WITH APPROPRIATE REGULATORY AUTHORITIES CONCERNING THE MOVEMENT OF MATERIALS AND EQUIPMENT NEAR ANY RIGHTS OF WAY.

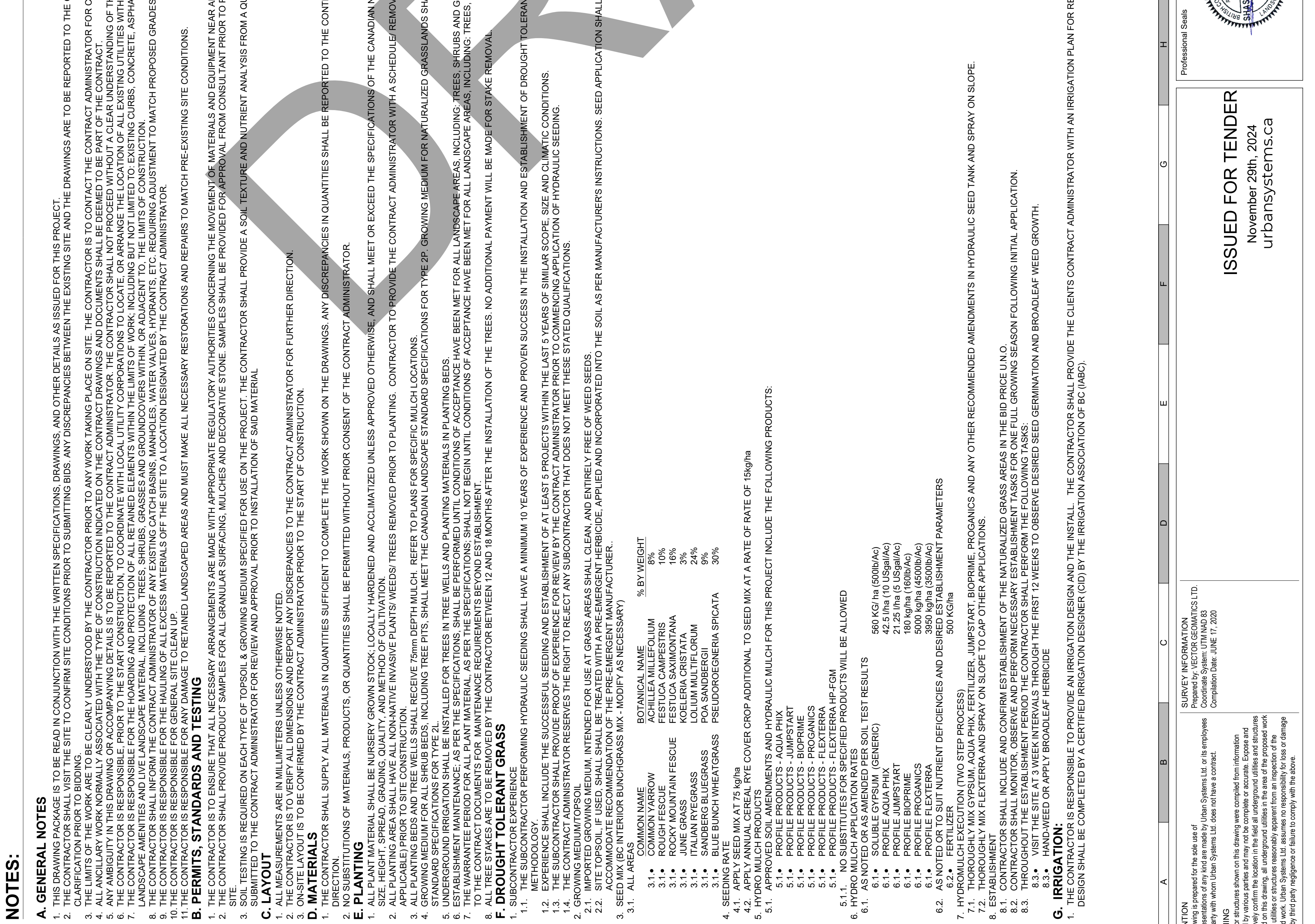
C. LAYOUT: 1. ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. 2. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR FOR FURTHER DIRECTION.

D. MATERIALS: 1. THE CONTRACTOR SHALL SUPPLY ALL MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS. ANY DISCREPANCIES IN QUANTITIES SHALL BE REPORTED TO THE CONTRACT ADMINISTRATOR FOR DIRECTION.

E. PLANTING: 1. ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK; LOCALLY HARBORDED AND ACCLIMATIZED UNLESS APPROVED OTHERWISE, AND SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR ALL PLANTING AREA SHALL HAVE ALL NON-NATIVE INVASIVE PLANTS/WEEDS/ TREES REMOVED PRIOR TO PLANTING...

F. DROUGHT TOLERANT GRASS: 1.1. THE SUBCONTRACTOR EXPERIENCE HYDRAULIC SEEDING SHALL HAVE A MINIMUM 10 YEARS OF EXPERIENCE AND PROVEN SUCCESS IN THE INSTALLATION AND ESTABLISHMENT OF DROUGHT TOLERANT GRASS USING HYDRAULIC SEEDING. 1.2. EXPERIENCE SHALL INCLUDE THE SUCCESSFUL SEEDING AND ESTABLISHMENT OF AT LEAST 5 PROJECTS WITHIN THE LAST 5 YEARS OF SIMILAR SCOPE, SIZE AND CLIMATIC CONDITIONS.

G. IRRIGATION: 1. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AN IRRIGATION DESIGN AND THE INSTALL. THE CONTRACTOR SHALL PROVIDE THE CLIENTS CONTRACT ADMINISTRATOR WITH AN IRRIGATION PLAN FOR REVIEW PRIOR TO INSTALL. IRRIGATION DESIGN SHALL BE COMPLETED BY A CERTIFIED IRRIGATION DESIGNER (CID) BY THE IRRIGATION ASSOCIATION OF BC (IABC).



Professional Seals, ISSUED FOR TENDER (November 29th, 2024), SURVEY INFORMATION (Urban Systems Ltd.), WARNING (No representation of any kind is made by Urban Systems Ltd.), URBAN SYSTEMS logo, OWLS NEST LANDSCAPE NOTES, and revision table.

NOT FOR CONSTRUCTION



**HARDSCAPE & SITE FURNISHINGS LEGEND:**

- GRANULAR PATHWAY MATERIAL
- 600X 600 CONCRETE PAVER SLABS IN CLEAN WASHED RIVER ROCK
- GAS FIRE PIT
- PRE-CAST CONCRETE STAIRS
- UNIT SIGNS (BY OTHERS)
- BICYCLE RACKS
- BENCH
- CHAISE LOUNGE
- LOUNGE CHAIR
- WASTE RECEPTACLE
- PLUNGE POOL (BY OTHERS)
- ALR AGRICULTURAL SIGN, LOCATION TO BE DETERMINED
- PERIMETER FENCE
- ALR SCREENING FENCE
- PICKLE BALL COURT FENCING (BY OTHERS)
- ALR SETBACK
- RETAINING WALLS REFER TO CIVIL DWGS.
- L/P (BY OTHERS)
- F/H (BY OTHERS)
- UTILITY BUILDING (BY OTHERS)

NOTE:  
1. REFER TO CIVIL DWGS. FOR GRADING DESIGN AND UTILITIES.

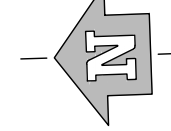
- TREES**
- ARMSTRONG RED MAPLE
  - PRAIRIE STATESMAN SWISS STONE PINE
  - PONDEROSA PINE
  - QUAKING ASPEN
  - CLUMP FORM QUAKING ASPEN
  - REGAL PRINCE OAK
  - EXISTING TREES, TO REMAIN TYPICAL

**SHRUBS / PERENNIALS, GROUNDCOVER & SCREENING :**

- ORNAMENTAL DROUGHT TOLERANT & EDIBLE SHRUB & PERENNIAL PLANTINGS
- ALR LANDSCAPE BUFFER
- NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
- DROUGHT TOLERANT GRASS SOD
- COMPOSTED BARK MULCH
- 25mm-150mm Ø DECORATIVE RIVER ROCK MULCH
- 150-200mm Ø RIVER ROCK
- LANDSCAPE FEATURE BOULDER
- SCREENING FENCE W/ GREEN SCREEN
- RIP RAP OR BOULDER ROCK, REFER TO CIVIL DWGS.

**SITE LANDSCAPE STATISTICS**

- TOTAL SITE AREA WITHIN PROPERTY: 18136 m<sup>2</sup>**  
**TOTAL LANDSCAPE AREA: 13841 m<sup>2</sup> (76%)**
- TOTAL BUILDING AREA: REFER ARCHITECTURAL PLANS  
 ON-SITE LANDSCAPED AREAS:  
 • DROUGHT TOLERANT AND EDIBLE SHRUB AND PERENNIAL PLANTING = 4,569 m<sup>2</sup>  
 • GRASSLAND RESTORATION = 3,344 m<sup>2</sup>  
 • AMENITY SPACE (INCLUDES COURT, FIRE/SEATING AREAS, GRANULAR PATHS & AMMENITY STAIRS) = 3,009 m<sup>2</sup>  
 • RETAINMENT, UNIT HARDSCAPE & LARGE ROCK MULCH AREAS = 2,192 m<sup>2</sup>  
 • ALR SCREENING = APPROX. 737 m<sup>2</sup>



**ISSUED FOR TENDER**  
November 29th, 2024  
urbansystems.ca

Professional Seals

#	Date	Issue / Revision	App
04	2022-04-14	ISSUED FOR DP	S. MCCOY
05	2023-04-11	ISSUED FOR FENCING INFO.	S. MCCOY
06	2023-04-18	REISSUED FOR FENCING INFO.	S. MCCOY
07	2024-07-12	ISSUED FOR REVIEW	S. MCCOY
08	2024-07-19	REISSUED FOR REVIEW	S. MCCOY
09	2024-09-25	REISSUED FOR REVIEW	S. MCCOY
10	2024-10-15	100% DETAILED DESIGN	S. MCCOY
11	2024-11-29	ISSUED FOR TENDER	S. MCCOY

**URBAN SYSTEMS**

Scale: 1:500  
0 10 20m

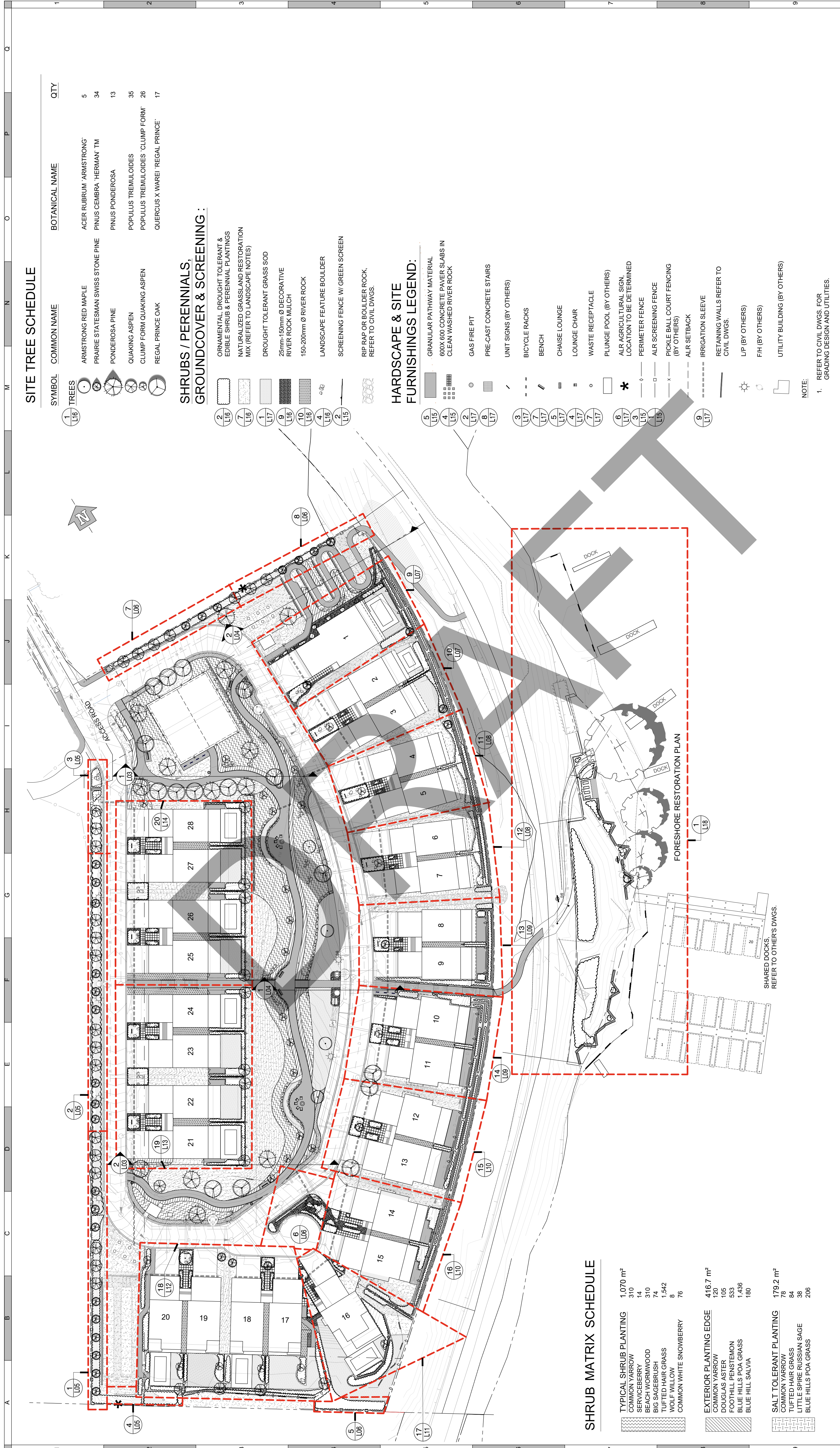
Quality Control by: S. Gill  
Designed by: S. McCoy  
Drawn by: E. Green

**OWLS NEST**  
LANDSCAPE PRESENTATION PLAN

Sheet Number: 2 of 19  
Project Number: 4265.0001.03  
Drawing Number: L01  
Revision: 11

ANSI expand D (34.00 x 22.00 inches) 25mm

NOT FOR CONSTRUCTION



**SITE TREE SCHEDULE**

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY
(1) L16	ARMSTRONG RED MAPLE	ACER RUBRUM 'ARMSTRONG'	5
(2) L16	PRAIRIE STATESMAN SWISS STONE PINE	PINUS CEMBRA 'HERMAN' TM	34
(3) L16	PONDEROSA PINE	PINUS PONDEROSA	13
(4) L16	QUAKING ASPEN	POPULUS TREMULOIDES	35
(5) L16	CLUMP FORM QUAKING ASPEN	POPULUS TREMULOIDES 'CLUMP FORM'	26
(6) L16	REGAL PRINCE OAK	QUERCUS X WAREI 'REGAL PRINCE'	17

**SHRUBS / PERENNIALS, GROUND COVER & SCREENING :**

- (2) L16 ORNAMENTAL DROUGHT TOLERANT & EDIBLE SHRUB & PERENNIAL PLANTINGS
- (7) L16 NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
- (1) L17 DROUGHT TOLERANT GRASS SOD
- (9) L16 25mm-150mm Ø DECORATIVE RIVER ROCK MULCH
- (10) L16 150-200mm Ø RIVER ROCK
- (4) L16 LANDSCAPE FEATURE BOULDER
- (2) L15 SCREENING FENCE W/ GREEN SCREEN

**HARDSCAPE & SITE FURNISHINGS LEGEND:**

- (5) L15 GRANULAR PATHWAY MATERIAL
- (4) L15 600X 600 CONCRETE PAVES SLABS IN CLEAN WASHED RIVER ROCK
- (2) L17 GAS FIRE PIT
- (8) L17 PRE-CAST CONCRETE STAIRS
- (3) L17 UNIT SIGNS (BY OTHERS)
- (7) L17 BICYCLE RACKS
- (7) L17 BENCH
- (5) L17 CHAISE LOUNGE
- (4) L17 LOUNGE CHAIR
- (7) L17 WASTE RECEPTACLE
- (6) L17 PLUNGE POOL (BY OTHERS)
- (3) L17 ALR AGRICULTURAL SIGN, LOCATION TO BE DETERMINED
- (3) L15 PERIMETER FENCE
- (1) L15 ALR SCREENING FENCE
- (1) L15 PICKLE BALL COURT FENCING (BY OTHERS)
- (1) L15 ALR SETBACK
- (9) L17 IRRIGATION SLEEVE
- RETAINING WALLS REFER TO CIVIL DWGS.
- L/P (BY OTHERS)
- F/H (BY OTHERS)
- UTILITY BUILDING (BY OTHERS)

NOTE:  
1. REFER TO CIVIL DWGS. FOR GRADING DESIGN AND UTILITIES.

**SHRUB MATRIX SCHEDULE**

<b>TYPICAL SHRUB PLANTING</b>	1,070 m <sup>2</sup>
COMMON YARROW	310
SERVICEBERRY	14
BEACH WORMWOOD	310
BIG SAGEBRUSH	74
TUFTED HAIR GRASS	1,542
WOLF WILLOW	8
COMMON WHITE SNOWBERRY	76
<b>EXTERIOR PLANTING EDGE</b>	416.7 m <sup>2</sup>
COMMON YARROW	120
DOUGLAS ASTER	105
FOOTHILL PENSTEMON	533
BLUE HILLS POA GRASS	1,436
BLUE HILL SALVIA	180
<b>SALT TOLERANT PLANTING</b>	179.2 m <sup>2</sup>
COMMON YARROW	78
TUFTED HAIR GRASS	84
LITTLE SPIRE RUSSIAN SAGE	38
BLUE HILLS POA GRASS	206

**ISSUED FOR TENDER**  
November 29th, 2024  
urbansystems.ca

**URBAN SYSTEMS**

Scale: 1:500  
0 10 20m

Quality Control by: S. Gill  
Designed by: S. McCoy  
Drawn by: E. Green

**PROFESSIONAL SEALS**

Professional Seal:

**REVISIONS**

#	Date	Issue / Revision	Appr
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
02	2024-10-15	100% DETAILED DESIGN	S. MCCOY
03	2024-11-29	ISSUED FOR TENDER	S. MCCOY

**SURVEY INFORMATION**

Prepared for the site of: OWL'S NEST LANDSCAPE PLAN  
 Prepared by: URBAN SYSTEMS LTD.  
 Coordinate System: UTM NAD 83  
 Completion Date: JUNE 17, 2020

**ATTENTION**

Information provided for the site of Owl's Nest Landscape Plan is for informational purposes only. Urban Systems Ltd. does not have a contract with any party with whom Urban Systems Ltd. does not have a contract.

**WARNING**

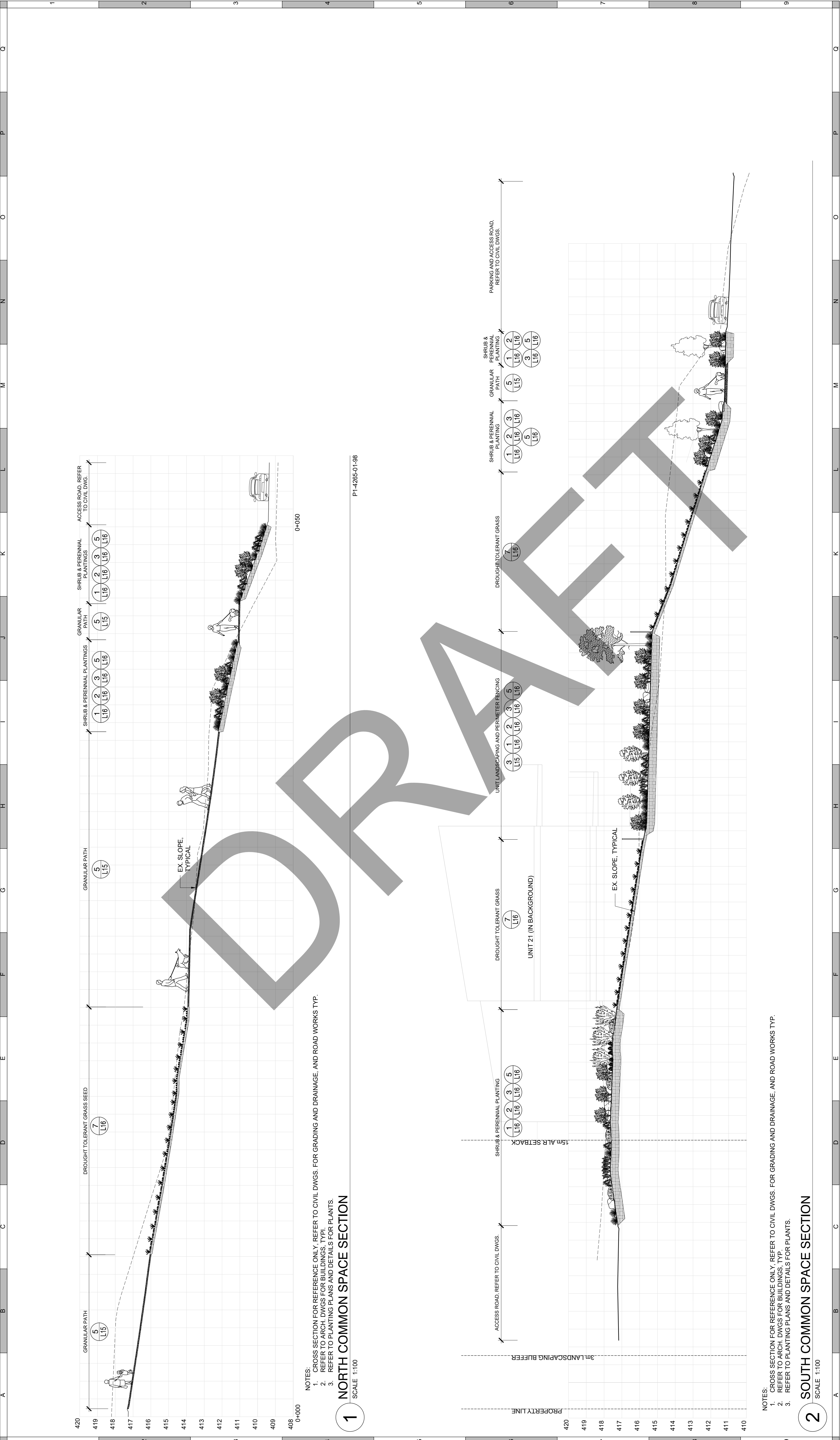
Utilities or structures shown on this drawing were compiled from information supplied by various parties and may not be complete or accurate. Exposure and conclusively confirm the location in the field all underground utilities and structures indicated on this drawing. Urban Systems Ltd. assumes no responsibility for loss or damage caused by third party negligence or failure to comply with the above.

**OWL'S NEST LANDSCAPE PLAN**

Sheet Number: 3 of 19  
 Project Number: 4265.0001.03  
 Drawing Number: L02  
 Revision: 3

ANSI expand D (34.00 x 22.00 inches) 25mm

NOT FOR CONSTRUCTION



**1 NORTH COMMON SPACE SECTION**  
SCALE 1:100  
P1-4265-01-98

**2 SOUTH COMMON SPACE SECTION**  
SCALE 1:100

- NOTES:
- CROSS SECTION FOR REFERENCE ONLY. REFER TO CIVIL DWGS. FOR GRADING AND DRAINAGE, AND ROAD WORKS TYP.
  - REFER TO ARCH. DWGS FOR BUILDINGS, TYP.
  - REFER TO PLANTING PLANS AND DETAILS FOR PLANTS.

<p><b>ATTENTION</b></p> <p>This drawing is prepared for the sole use of the client and is not to be used for any other purpose without the written consent of Urban Systems Ltd. It is the responsibility of the client to ensure that all information provided is accurate and up-to-date. Urban Systems Ltd. does not have a contract with any party with whom Urban Systems Ltd. does not have a contract.</p> <p><b>WARNING</b></p> <p>Utilities or structures shown on this drawing were compiled from information supplied by various parties and may not be complete or accurate. Exposure and conclusively confirm the location in the field of all underground utilities and structures indicated on this drawing, all underground utilities in the area of the proposed work and any other work. Urban Systems Ltd. shall not be responsible for loss or damage caused by third party negligence or failure to comply with the above.</p>		<p><b>SURVEY INFORMATION</b></p> <p>Prepared by: VECTORPOINT INC. (S) LTD.                  Checked by: SHASTAR MCCOY                  Completion Date: JUNE 17, 2020</p>	
<p><b>ISSUED FOR TENDER</b>                  November 29th, 2024                  urbansystems.ca</p>		<p>Professional Seals</p>	
<p><b>URBANSYSTEMS</b></p> <p>Scale 1:100                  0 2 4m</p> <p>Quality Control by                  Designed by                  Drawn by</p> <p>S. Guil                  S. McCoy                  E. Green</p>		<p><b>CANTIRO</b>                  Amazing Lives Happen Here</p>	
<p># Date Issue / Revision</p> <p>01 2024-09-25 ISSUED FOR REVIEW S. MCCOY</p> <p>02 2024-10-15 100% DETAILED DESIGN S. MCCOY</p> <p>03 2024-11-29 ISSUED FOR TENDER S. MCCOY</p>		<p>App: S. MCCOY</p> <p>Project Number: 4265.0001.03</p> <p>Drawing Number: L03</p> <p>Revision: 3</p> <p>Sheet Number: OWLS NEST LANDSCAPE SECTIONS 1</p> <p>ANSI expand D (34.00 x 22.00 inches) 25mm</p>	

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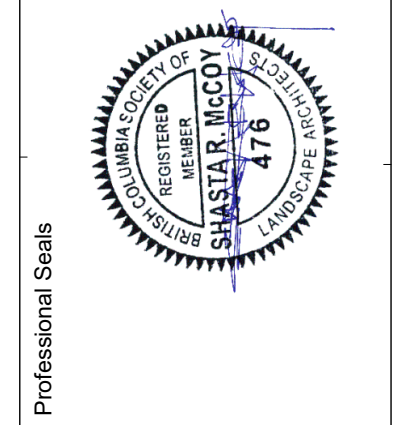
NOTES:  
 1. CROSS SECTION FOR REFERENCE ONLY. REFER TO CIVIL DWGS. FOR GRADING AND DRAINAGE, AND ROAD WORKS TYP.  
 2. REFER TO ARCH. DWGS. FOR BUILDINGS, TYP.  
 3. REFER TO PLANTING PLANS AND DETAILS FOR PLANTS.

NOTES:  
 1. CROSS SECTION FOR REFERENCE ONLY. REFER TO CIVIL DWGS. FOR GRADING AND DRAINAGE, AND ROAD WORKS TYP.  
 2. REFER TO ARCH. DWGS. FOR BUILDINGS, TYP.  
 3. REFER TO PLANTING PLANS AND DETAILS FOR PLANTS.

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**WARNING**  
 Utilities or structures shown on this drawing were compiled from information supplied by various parties and may not be complete or accurate. Exposure and location of underground utilities in the area of the proposed work is not guaranteed. Urban Systems Ltd. does not accept any responsibility for loss or damage caused by third party negligence or failure to comply with the above.

**SURVEY INFORMATION**  
 Prepared by: VECTOR SURVEYING INC. LTD.  
 Completion Date: JUNE 17, 2020



**ISSUED FOR TENDER**  
 November 29th, 2024  
 urbansystems.ca

#	Date	Issue / Revision	Appr.
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
02	2024-10-15	100% DETAILED DESIGN	S. MCCOY
03	2024-11-29	ISSUED FOR TENDER	S. MCCOY

**CANTIRO**  
 Amazing Lives Happen Here

**URBAN SYSTEMS**

Scale: 1:100  
 0 2 4m

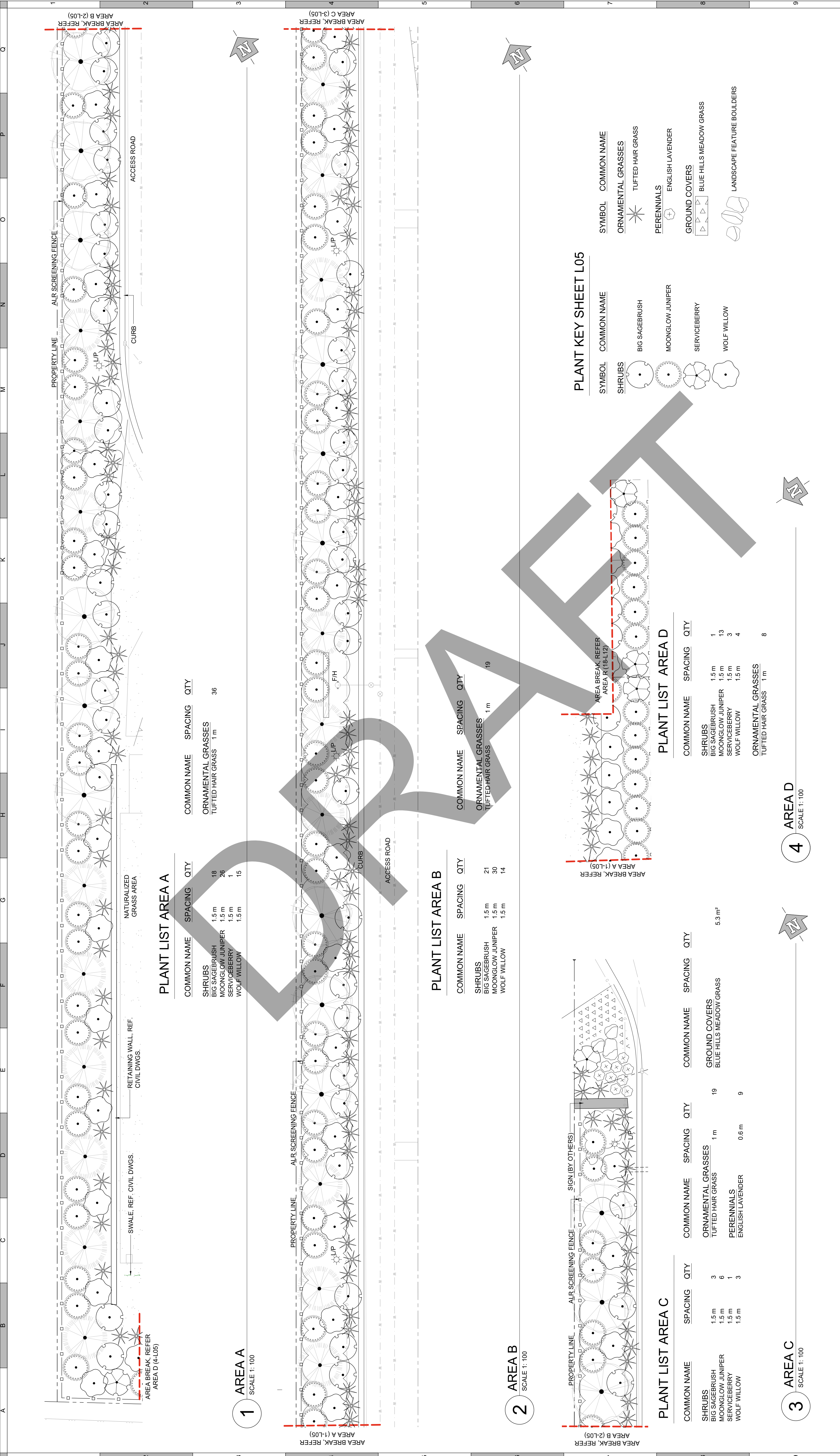
Quality Control by: S. Gull  
 Designed by: S. McCoy  
 Drawn by: E. Green

Sheet Number	5 of 19
Project Number	4265.0001.03
Drawing Number	L04
Revision	3

ANSI expand D (34.00 x 22.00 inches) 25mm

P1-4265-01-97

NOT FOR CONSTRUCTION



**PLANT LIST AREA A**

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	18
MOONGLOW JUNIPER	1.5 m	26
SERVICEBERRY	1.5 m	1
WOLF WILLOW	1.5 m	15

COMMON NAME	SPACING	QTY
ORNAMENTAL GRASSES		
TUFTED HAIR GRASS	1 m	36

**PLANT LIST AREA B**

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	21
MOONGLOW JUNIPER	1.5 m	30
WOLF WILLOW	1.5 m	14

COMMON NAME	SPACING	QTY
ORNAMENTAL GRASSES		
TUFTED HAIR GRASS	1 m	19

**PLANT LIST AREA C**

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	3
MOONGLOW JUNIPER	1.5 m	6
SERVICEBERRY	1.5 m	1
WOLF WILLOW	1.5 m	3

COMMON NAME	SPACING	QTY
ORNAMENTAL GRASSES		
TUFTED HAIR GRASS	1 m	19

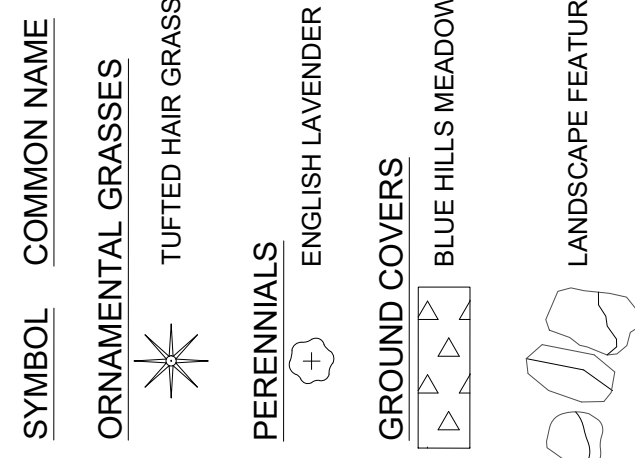
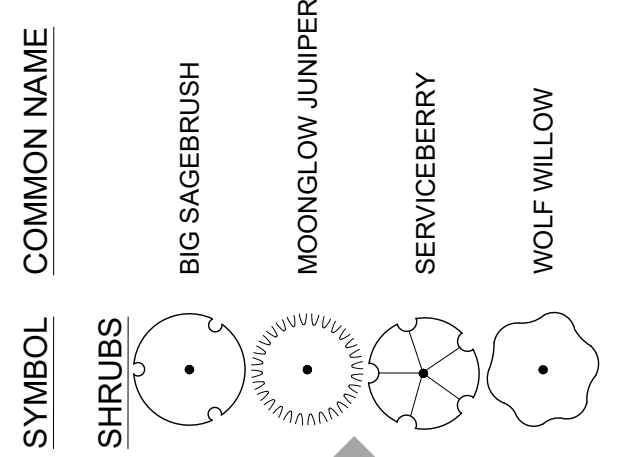
COMMON NAME	SPACING	QTY
GROUND COVERS		
BLUE HILLS MEADOW GRASS		5.3 m <sup>2</sup>

**PLANT LIST AREA D**

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	1
MOONGLOW JUNIPER	1.5 m	13
SERVICEBERRY	1.5 m	3
WOLF WILLOW	1.5 m	4

COMMON NAME	SPACING	QTY
ORNAMENTAL GRASSES		
TUFTED HAIR GRASS	1 m	8

**PLANT KEY SHEET L05**



**1** AREA A  
SCALE 1: 100

**2** AREA B  
SCALE 1: 100

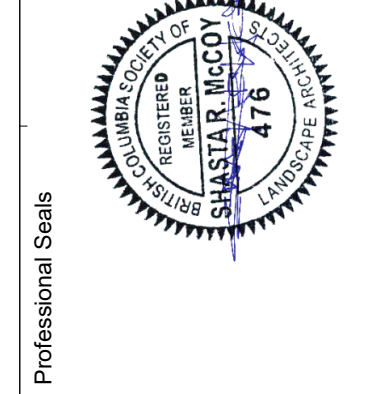
**3** AREA C  
SCALE 1: 100

**4** AREA D  
SCALE 1: 100

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**WARNING**  
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**SURVEY INFORMATION**  
Prepared by: VECTORMEASUREMENTS LTD.  
Contract No: 2024-09-25  
Completion Date: JUNE 17, 2020

**ISSUED FOR TENDER**  
November 29th, 2024  
urbansystems.ca



#	Date	Issue / Revision	Appr
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
02	2024-10-15	100% DETAILED DESIGN	S. MCCOY
03	2024-11-29	ISSUED FOR TENDER	S. MCCOY

**CANTIRO**  
Amazing Lives Happen Here

**URBAN SYSTEMS**  
Scale 1:100  
Quality Control by S. Gull, S. McCoy, E. Green  
Designed by S. McCoy  
Drawn by E. Green

**OWLS NEST**  
SHRUB PLANTING ENLARGEMENTS 1  
Sheet Number 6 of 19  
Project Number 4265.0001.03  
Drawing Number L05  
Revision 3

ANSI expand D (34.00 x 22.00 inches) 25mm



NOT FOR CONSTRUCTION

PLANT KEY SHEET L07

SYMBOL	COMMON NAME
	SHRUBS
	MOONGLOW JUNIPER
	SERVICEBERRY
	ORNAMENTAL GRASSES
	BLUE GRAMA GRASS
	BLUE OAT GRASS
	SWITCH GRASS
	TUFTED HAIR GRASS
	PERENNIALS
	BEACH WORMWOOD
	BILBERRY / ICE SPIDERWORT
	BLUE HILL SALVIA
	CAT'S MEOW CATMINT
	COMMON YARROW
	ENGLISH LAVENDER
	FOOTHILL PENSTEMON
	HASKAPS BERRY
	LITTLE SPIRE RUSSIAN SAGE
	VINES & CREEPERS
	FEMALE HARDY KIWI
	MALE HARDY KIWI
	WESTERN WHITE CLEMATIS
	GROUND COVERS
	BLUE HILLS MEADOW GRASS
	WILD STRAWBERRY
	NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
	DROUGHT TOLERANT GRASS SOD
	LANDSCAPE FEATURE BOULDERS

CURB, REFER TO CIVIL DWGS.  
UTIL., REFER TO OTHERS DWGS.

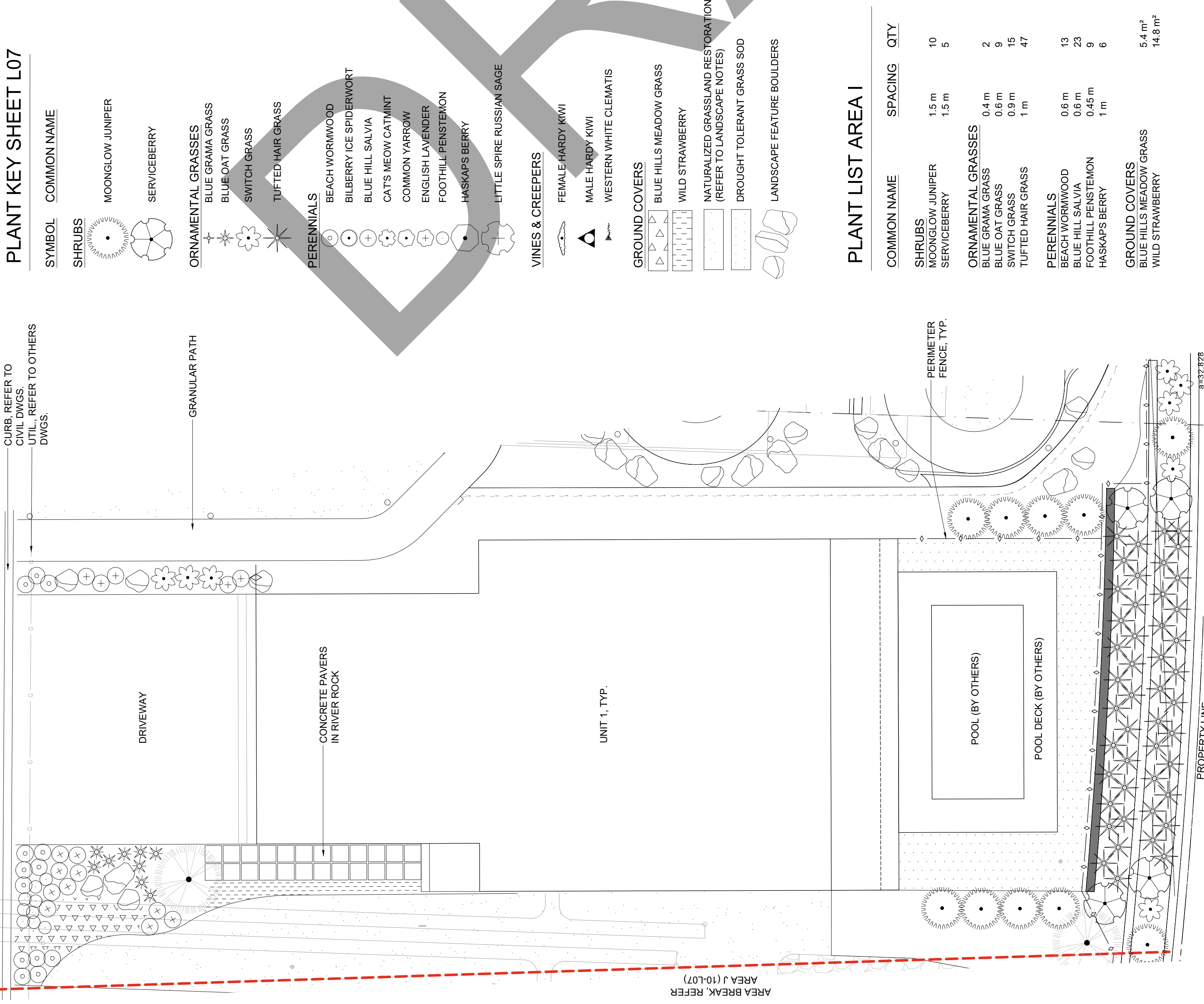
GRANULAR PATH

DRIVEWAY

CONCRETE PAVERS IN RIVER ROCK

UNIT 1, TYP.

AREA J (10-L07)  
AREA BREAK, REFER



PLANT LIST AREA I

COMMON NAME	SPACING	QTY
SHRUBS		
MOONGLOW JUNIPER	1.5 m	10
SERVICEBERRY	1.5 m	5
ORNAMENTAL GRASSES		
BLUE GRAMA GRASS	0.4 m	2
BLUE OAT GRASS	0.6 m	9
SWITCH GRASS	0.9 m	15
TUFTED HAIR GRASS	1 m	47
PERENNIALS		
BEACH WORMWOOD	0.6 m	13
BLUE HILL SALVIA	0.6 m	23
FOOTHILL PENSTEMON	0.45 m	9
HASKAPS BERRY	1 m	6
GROUND COVERS		
BLUE HILLS MEADOW GRASS	5.4 m <sup>2</sup>	
WILD STRAWBERRY	14.8 m <sup>2</sup>	

PLANT LIST AREA J

COMMON NAME	SPACING	QTY
SHRUBS		
MOONGLOW JUNIPER	1.5 m	4
SERVICEBERRY	1.5 m	4
ORNAMENTAL GRASSES		
BLUE OAT GRASS	0.6 m	53
SWITCH GRASS	0.9 m	4
TUFTED HAIR GRASS	1 m	38
PERENNIALS		
BEACH WORMWOOD	0.6 m	5
BILBERRY / ICE SPIDERWORT	0.6 m	6
BLUE HILL SALVIA	0.6 m	7
CAT'S MEOW CATMINT	0.6 m	7
COMMON YARROW	0.6 m	6
ENGLISH LAVENDER	0.6 m	3
HASKAPS BERRY	1 m	6
LITTLE SPIRE RUSSIAN SAGE	1.2 m	3
VINES & CREEPERS		
FEMALE HARDY KIWI	1.2 m	8
MALE HARDY KIWI	0.6 m	2
WESTERN WHITE CLEMATIS	0.6 m	4
GROUND COVERS		
BLUE HILLS MEADOW GRASS	7.4 m <sup>2</sup>	
WILD STRAWBERRY	15.3 m <sup>2</sup>	

10 AREA J  
SCALE 1:100

9 AREA I  
SCALE 1:100

**ATTENTION**  
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**SURVEY INFORMATION**  
Prepared by: VECTOCOR INC. LTD.  
Completion Date: JUNE 17, 2020

Professional Seals  
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
BRITISH COLUMBIA  
S. MC COY  
476

#	Date	Issue / Revision	Appr
01	2024-09-25	ISSUED FOR REVIEW	S. MC COY
02	2024-10-15	100% DETAILED DESIGN	S. MC COY
03	2024-11-29	ISSUED FOR TENDER	S. MC COY

**CANTIRO**  
Amazing Lives Happen Here

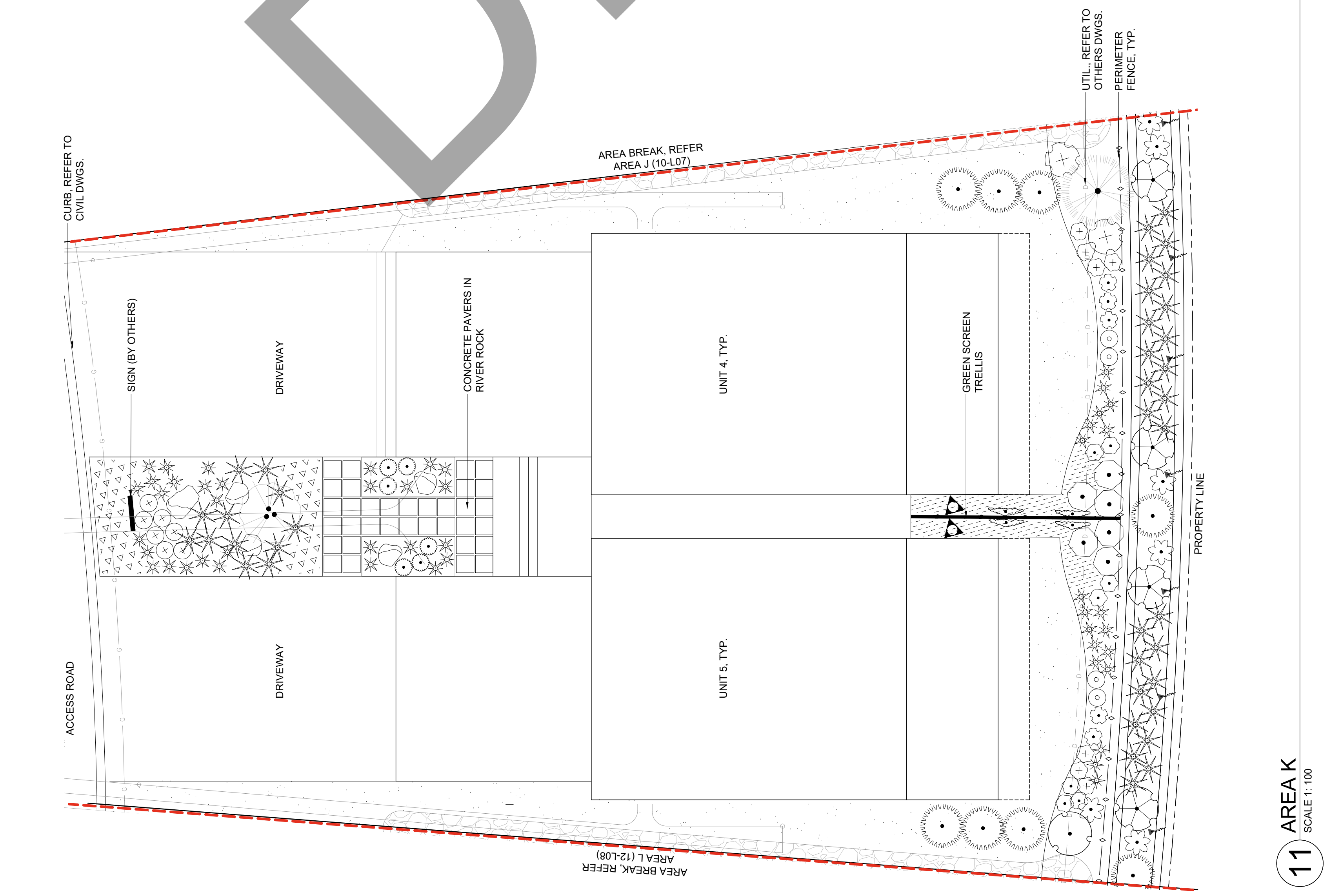
**URBAN SYSTEMS**  
Scale 1:100  
Quality Control by S. Guill, S. McCoy, E. Green  
Designed by Urban Systems Ltd.

OWLS NEST  
SHRUB PLANTING ENLARGEMENTS 3  
Sheet Number 8 of 19  
Project Number 4265.0001.03  
Drawing Number L07  
Revision 3  
ANSI expand D (34.00 x 22.00 inches) 25mm

NOT FOR CONSTRUCTION

PLANT KEY SHEET L08

SYMBOL	COMMON NAME
	SHRUBS
	BIG SAGEBRUSH
	MOONGLOW JUNIPER
	SERVICEBERRY
	ORNAMENTAL GRASSES
	BLUE OAT GRASS
	SWITCH GRASS
	TUFTED HAIR GRASS
	PERENNIALS
	BEACH WORMWOOD
	BILBERRY ICE SPIDERWORT
	BLUE HILL SALVIA
	CATS MEOW CATMINT
	COMMON YARROW
	ENGLISH LAVENDER
	HASKAPS BERRY
	LITTLE SPIRE RUSSIAN SAGE
	VINES & CREEPERS
	FEMALE HARDY KIWII
	MALE HARDY KIWII
	WESTERN WHITE CLEMATIS
	GROUND COVERS
	BLUE HILLS MEADOW GRASS
	WILD STRAWBERRY
	NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
	LANDSCAPE FEATURE BOULDERS



PLANT LIST AREA L

COMMON NAME	SPACING	QTY
<b>SHRUBS</b>		
BIG SAGEBRUSH	1.5 m	1
MOONGLOW JUNIPER	1.5 m	7
SERVICEBERRY	1.5 m	4
<b>ORNAMENTAL GRASSES</b>		
BLUE OAT GRASS	0.6 m	33
SWITCH GRASS	0.9 m	10
TUFTED HAIR GRASS	1 m	29
<b>PERENNIALS</b>		
BEACH WORMWOOD	0.6 m	3
BILBERRY ICE SPIDERWORT	0.6 m	6
BLUE HILL SALVIA	0.6 m	3
CATS MEOW CATMINT	0.6 m	4
COMMON YARROW	0.6 m	9
ENGLISH LAVENDER	0.6 m	3
HASKAPS BERRY	1 m	6
<b>VINES &amp; CREEPERS</b>		
FEMALE HARDY KIWII	1.2 m	4
MALE HARDY KIWII	0.6 m	2
WESTERN WHITE CLEMATIS	0.6 m	6
<b>GROUND COVERS</b>		
BLUE HILLS MEADOW GRASS		8 m <sup>2</sup>
WILD STRAWBERRY		8.5 m <sup>2</sup>

PLANT LIST AREA K

COMMON NAME	SPACING	QTY
<b>SHRUBS</b>		
BIG SAGEBRUSH	1.5 m	1
MOONGLOW JUNIPER	1.5 m	8
SERVICEBERRY	1.5 m	4
<b>ORNAMENTAL GRASSES</b>		
BLUE OAT GRASS	0.6 m	49
SWITCH GRASS	0.9 m	6
TUFTED HAIR GRASS	1 m	39
<b>PERENNIALS</b>		
BEACH WORMWOOD	0.6 m	4
BILBERRY ICE SPIDERWORT	0.6 m	6
BLUE HILL SALVIA	0.6 m	7
CATS MEOW CATMINT	0.6 m	5
COMMON YARROW	0.6 m	7
ENGLISH LAVENDER	0.6 m	7
HASKAPS BERRY	1 m	6
LITTLE SPIRE RUSSIAN SAGE	1.2 m	2
<b>VINES &amp; CREEPERS</b>		
FEMALE HARDY KIWII	1.2 m	4
MALE HARDY KIWII	0.6 m	2
WESTERN WHITE CLEMATIS	0.6 m	7
<b>GROUND COVERS</b>		
BLUE HILLS MEADOW GRASS		7.9 m <sup>2</sup>
WILD STRAWBERRY		8.2 m <sup>2</sup>

12 AREA L SCALE 1: 100

11 AREA K SCALE 1: 100

Professional Seals



**ISSUED FOR TENDER**  
November 29th, 2024  
urbansystems.ca

**SURVEY INFORMATION**  
Prepared by: VECTOCOR INC. LTD.  
Completed by: Shaista R. McCooy  
Completion Date: JUNE 17, 2020

**ATTENTION**  
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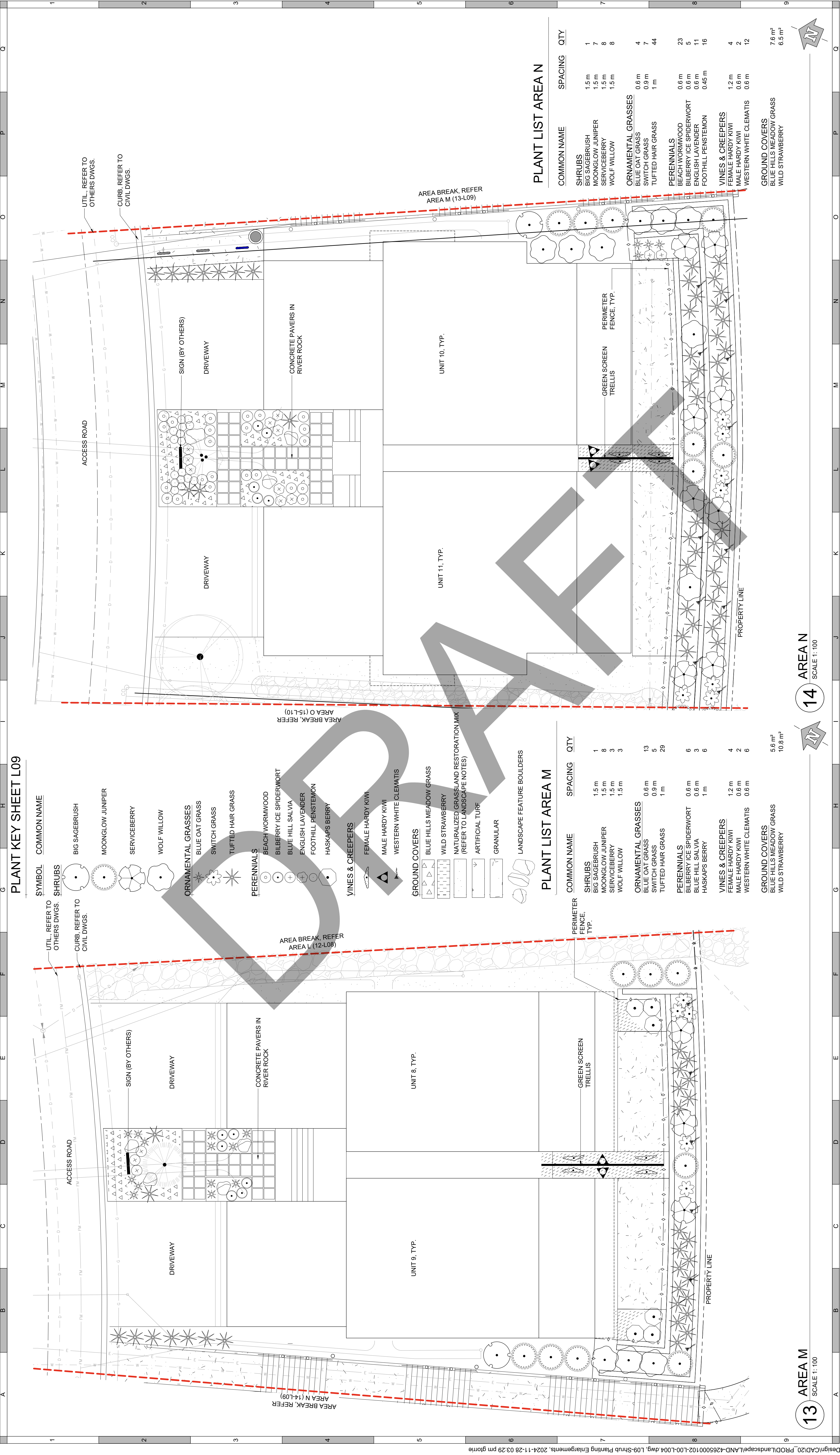
#	Date	Issue / Revision	Appr
01	2024-09-25	ISSUED FOR REVIEW	S. McCOY
02	2024-10-15	100% DETAILED DESIGN	S. McCOY
03	2024-11-29	ISSUED FOR TENDER	S. McCOY

**CANTIRO**  
Amazing Lives Happen Here

**URBAN SYSTEMS**  
Scale 1:100  
Quality Control by S. Gull, S. McCooy, E. Green  
Designed by Urban Systems Ltd.

**OWLS NEST**  
SHRUB PLANTING ENLARGEMENTS 4  
Sheet Number 9 of 19  
Project Number 4265.0001.03  
Drawing Number L08  
Revision 3

NOT FOR CONSTRUCTION



PLANT KEY SHEET L09

SYMBOL	COMMON NAME
	SHRUBS
	BIG SAGEBRUSH
	MOONGLOW JUNIPER
	SERVICEBERRY
	WOLF WILLOW
	ORNAMENTAL GRASSES
	BLUE OAT GRASS
	SWITCH GRASS
	TUFTED HAIR GRASS
	PERENNIALS
	BEACH WORMWOOD
	BILBERRY/ICE SPIDERWORT
	BLUE HILL SALVIA
	ENGLISH LAVENDER
	FOOTHILL PENSTEMON
	HASKAPS BERRY
	VINES & CREEPERS
	FEMALE HARDY KIWI
	MALE HARDY KIWI
	WESTERN WHITE CLEMATIS
	GROUND COVERS
	BLUE HILLS MEADOW GRASS
	WILD STRAWBERRY
	NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
	ARTIFICIAL TURF
	GRANULAR
	LANDSCAPE FEATURE BOULDERS

AREA BREAK, REFER AREA L (12-L08)

AREA BREAK, REFER AREA O (15-L10)

PLANT LIST AREA M

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	1
MOONGLOW JUNIPER	1.5 m	8
SERVICEBERRY	1.5 m	3
WOLF WILLOW	1.5 m	3
ORNAMENTAL GRASSES		
BLUE OAT GRASS	0.6 m	13
SWITCH GRASS	0.9 m	5
TUFTED HAIR GRASS	1 m	29
PERENNIALS		
BILBERRY/ICE SPIDERWORT	0.6 m	6
BLUE HILL SALVIA	0.6 m	3
HASKAPS BERRY	1 m	6
VINES & CREEPERS		
FEMALE HARDY KIWI	1.2 m	4
MALE HARDY KIWI	0.6 m	2
WESTERN WHITE CLEMATIS	0.6 m	6
GROUND COVERS		
BLUE HILLS MEADOW GRASS	5.6 m <sup>2</sup>	
WILD STRAWBERRY	10.8 m <sup>2</sup>	

PLANT LIST AREA N

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	1
MOONGLOW JUNIPER	1.5 m	7
SERVICEBERRY	1.5 m	8
WOLF WILLOW	1.5 m	8
ORNAMENTAL GRASSES		
BLUE OAT GRASS	0.6 m	4
SWITCH GRASS	0.9 m	7
TUFTED HAIR GRASS	1 m	44
PERENNIALS		
BEACH WORMWOOD	0.6 m	23
BILBERRY/ICE SPIDERWORT	0.6 m	5
ENGLISH LAVENDER	0.6 m	11
FOOTHILL PENSTEMON	0.45 m	16
VINES & CREEPERS		
FEMALE HARDY KIWI	1.2 m	4
MALE HARDY KIWI	0.6 m	2
WESTERN WHITE CLEMATIS	0.6 m	12
GROUND COVERS		
BLUE HILLS MEADOW GRASS	7.6 m <sup>2</sup>	
WILD STRAWBERRY	6.5 m <sup>2</sup>	

14 AREA N SCALE 1:100

13 AREA M SCALE 1:100

**ISSUED FOR TENDER**  
November 29th, 2024  
urbansystems.ca

**PROFESSIONAL SEALS**  
REGISTERED MEMBER  
476  
SHAISTA R. MCCOY  
LANDSCAPE ARCHITECT

**SURVEY INFORMATION**  
Prepared by: VECTOCOR INC. LTD.  
Completed by: Urban Systems Ltd. (U.S.)  
Completion Date: JUNE 17, 2020

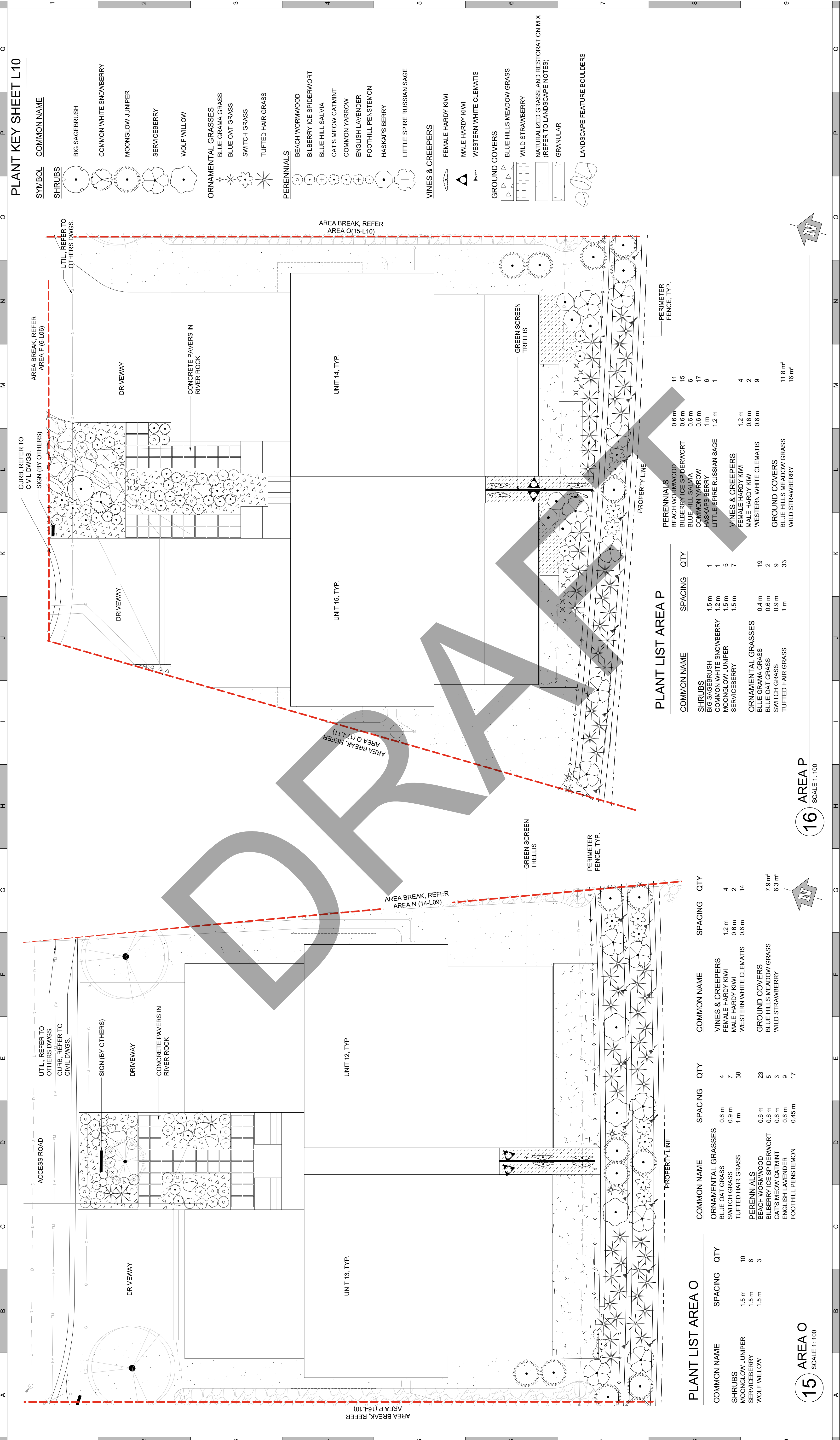
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**CANTIRO**  
Amazing Lives Happen Here

**URBAN SYSTEMS**  
Scale 1:100  
Quality Control by S. Gill  
Designed by S. McCoy  
Drawn by E. Green

**SHRUB PLANTING ENLARGEMENTS 5**  
Project Number: 4265.0001.03  
Drawing Number: L09  
Revision: 3  
Sheet Number: 10 of 19

NOT FOR CONSTRUCTION



### PLANT KEY SHEET L10

SYMBOL	COMMON NAME
<b>SHRUBS</b>	
	BIG SAGEBRUSH
	COMMON WHITE SNOWBERRY
	MOONGLOW JUNIPER
	SERVICEBERRY
	WOLF WILLOW
<b>ORNAMENTAL GRASSES</b>	
	BLUE GRAMA GRASS
	BLUE OAT GRASS
	SWITCH GRASS
	TUFTED HAIR GRASS
<b>PERENNIALS</b>	
	BEACH WORMWOOD
	BILBERRY ICE SPIDERWORT
	BLUE HILL SALVIA
	CAT'S MEOW CATMINT
	COMMON YARROW
	ENGLISH LAVENDER
	FOOTHILL PENSTEMON
	HASKAPS BERRY
	LITTLE SPIRE RUSSIAN SAGE
<b>VINES &amp; CREEPERS</b>	
	FEMALE HARDY KIWI
	MALE HARDY KIWI
	WESTERN WHITE CLEMATIS
<b>GROUND COVERS</b>	
	BLUE HILLS MEADOW GRASS
	WILD STRAWBERRY
	NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
	GRANULAR
	LANDSCAPE FEATURE BOULDERS

### PLANT LIST AREA P

COMMON NAME	SPACING	QTY
<b>SHRUBS</b>		
BIG SAGEBRUSH	1.5 m	1
COMMON WHITE SNOWBERRY	1.2 m	1
MOONGLOW JUNIPER	1.5 m	5
SERVICEBERRY	1.5 m	7
<b>ORNAMENTAL GRASSES</b>		
BLUE GRAMA GRASS	0.4 m	19
BLUE OAT GRASS	0.6 m	2
SWITCH GRASS	0.9 m	6
TUFTED HAIR GRASS	1 m	33
<b>PERENNIALS</b>		
BEACH WORMWOOD	0.6 m	11
BILBERRY ICE SPIDERWORT	0.6 m	15
BLUE HILL SALVIA	0.6 m	6
COMMON YARROW	0.6 m	17
HASKAPS BERRY	1 m	6
LITTLE SPIRE RUSSIAN SAGE	1.2 m	1
<b>VINES &amp; CREEPERS</b>		
FEMALE HARDY KIWI	1.2 m	4
MALE HARDY KIWI	0.6 m	2
WESTERN WHITE CLEMATIS	0.6 m	9
<b>GROUND COVERS</b>		
BLUE HILLS MEADOW GRASS	11.8 m <sup>2</sup>	
WILD STRAWBERRY	16 m <sup>2</sup>	

COMMON NAME	SPACING	QTY
<b>ORNAMENTAL GRASSES</b>		
BLUE OAT GRASS	0.6 m	4
SWITCH GRASS	0.9 m	7
TUFTED HAIR GRASS	1 m	38
<b>PERENNIALS</b>		
BEACH WORMWOOD	0.6 m	23
BILBERRY ICE SPIDERWORT	0.6 m	5
CAT'S MEOW CATMINT	0.6 m	3
ENGLISH LAVENDER	0.6 m	9
FOOTHILL PENSTEMON	0.45 m	17
<b>VINES &amp; CREEPERS</b>		
FEMALE HARDY KIWI	1.2 m	4
MALE HARDY KIWI	0.6 m	2
WESTERN WHITE CLEMATIS	0.6 m	14
<b>GROUND COVERS</b>		
BLUE HILLS MEADOW GRASS	7.9 m <sup>2</sup>	
WILD STRAWBERRY	6.3 m <sup>2</sup>	

16 AREA P  
SCALE 1:100

15 AREA O  
SCALE 1:100

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**SURVEY INFORMATION**

Prepared by: VEICOR ENGINEERING LTD.  
 Checked by: SHASTAR MCCOY  
 Completion Date: JUNE 17, 2020

**ISSUED FOR TENDER**

November 29th, 2024  
 urbansystems.ca

Professional Seals

# Date Issue / Revision

01 2024-09-25 ISSUED FOR REVIEW S. MCCOY

02 2024-10-15 100% DETAILED DESIGN S. MCCOY

03 2024-11-29 ISSUED FOR TENDER S. MCCOY

**CANTIRO**

Amazing Lives Happen Here

**URBAN SYSTEMS**

Scale 1:100  
 0 2 4m

Quality Control by  
 Designed by  
 Drawn by

S. Gull  
 S. McCoy  
 E. Green

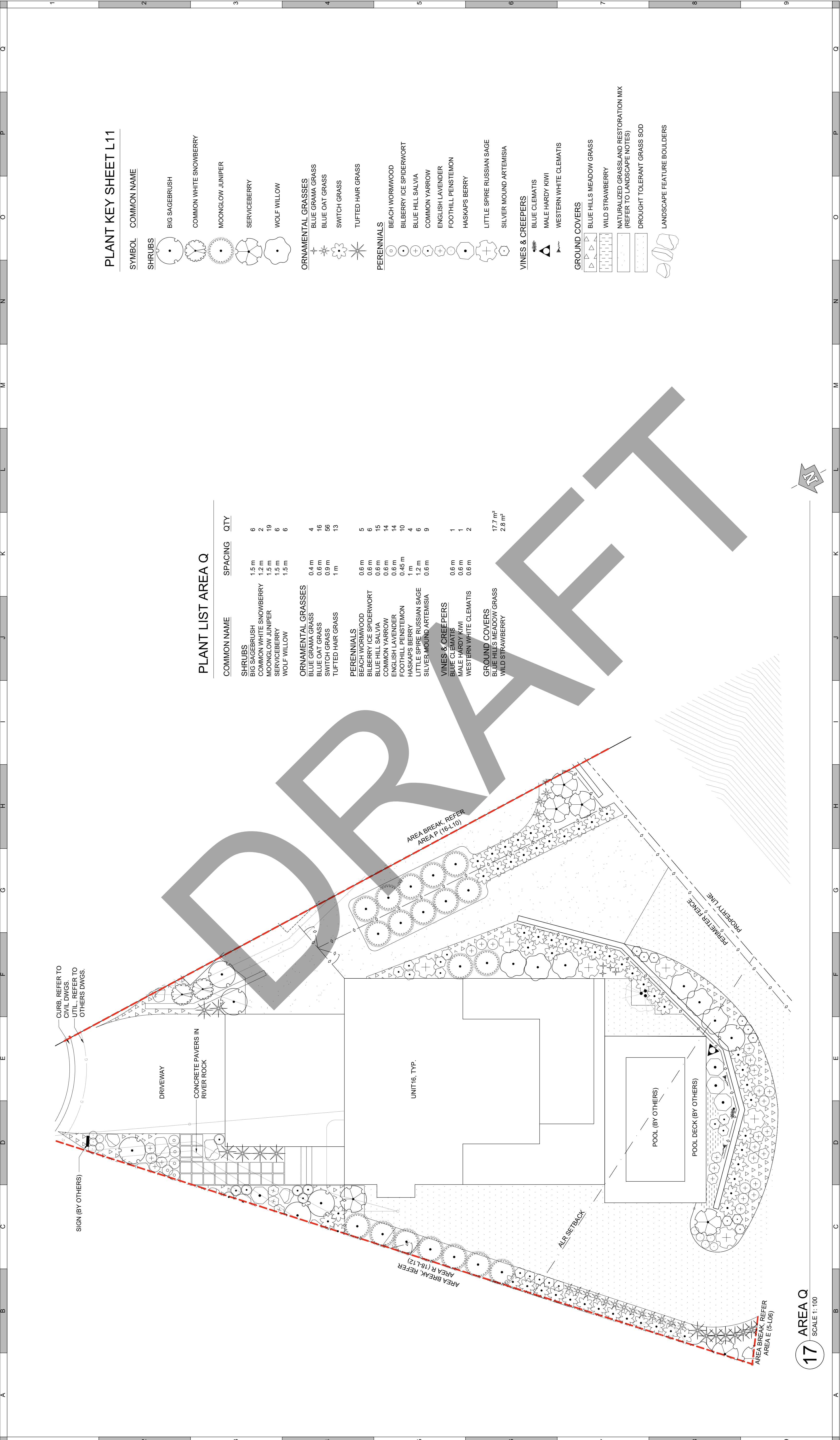
SHRUB PLANTING ENLARGEMENTS 6

OWLS NEST

Sheet Number 11 of 19  
 Project Number 4265.0001.03  
 Drawing Number L10  
 Revision 3

ANSI expand D (34.00 x 22.00 inches) 25mm

NOT FOR CONSTRUCTION



PLANT LIST AREA Q

COMMON NAME	SPACING	QTY
<b>SHRUBS</b>		
BIG SAGEBRUSH	1.5 m	6
COMMON WHITE SNOWBERRY	1.2 m	2
MOONGLOW JUNIPER	1.5 m	19
SERVICEBERRY	1.5 m	6
WOLF WILLOW	1.5 m	6
<b>ORNAMENTAL GRASSES</b>		
BLUE GRAMA GRASS	0.4 m	4
BLUE OAT GRASS	0.6 m	16
SWITCH GRASS	0.9 m	56
TUFTED HAIR GRASS	1 m	13
<b>PERENNIALS</b>		
BEACH WORMWOOD	0.6 m	5
BILBERRY ICE SPIDERWORT	0.6 m	6
BLUE HILL SALVIA	0.6 m	15
COMMON YARROW	0.6 m	14
ENGLISH LAVENDER	0.6 m	14
FOOTHILL PENSTEMON	0.45 m	10
HASKAP'S BERRY	1 m	4
LITTLE SPIRE RUSSIAN SAGE	1.2 m	6
SILVER MOUND ARTEMISIA	0.6 m	9
<b>VINES &amp; CREEPERS</b>		
BLUE CLEMATIS	0.6 m	1
MALE HARDY KIWI	0.6 m	1
WESTERN WHITE CLEMATIS	0.6 m	2
<b>GROUND COVERS</b>		
BLUE HILLS MEADOW GRASS		17.7 m <sup>2</sup>
WILD STRAWBERRY		2.8 m <sup>2</sup>

PLANT KEY SHEET L11

**SYMBOL COMMON NAME**

**SHRUBS**

- BIG SAGEBRUSH
- COMMON WHITE SNOWBERRY
- MOONGLOW JUNIPER
- SERVICEBERRY
- WOLF WILLOW

**ORNAMENTAL GRASSES**

- BLUE GRAMA GRASS
- BLUE OAT GRASS
- SWITCH GRASS
- TUFTED HAIR GRASS

**PERENNIALS**

- BEACH WORMWOOD
- BILBERRY ICE SPIDERWORT
- BLUE HILL SALVIA
- COMMON YARROW
- ENGLISH LAVENDER
- FOOTHILL PENSTEMON
- HASKAP'S BERRY
- LITTLE SPIRE RUSSIAN SAGE
- SILVER MOUND ARTEMISIA

**VINES & CREEPERS**

- BLUE CLEMATIS
- MALE HARDY KIWI
- WESTERN WHITE CLEMATIS

**GROUND COVERS**

- BLUE HILLS MEADOW GRASS
- WILD STRAWBERRY
- NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
- DROUGHT TOLERANT GRASS SOD
- LANDSCAPE FEATURE BOULDERS

17 AREA Q  
SCALE 1:100

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**SURVEY INFORMATION**  
Prepared by: VECTOCOR INCORPORATED  
Completed by: TONYA M. BROWN  
Completion Date: JUNE 17, 2020

**Professional Seals**

**ISSUED FOR TENDER**  
November 29th, 2024  
urbansystems.ca

**Professional Seals**

**SHASTAR MCCOY**  
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
476

**Issue / Revision**

#	Date	Issue / Revision	Appr.
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
02	2024-10-15	100% DETAILED DESIGN	S. MCCOY
03	2024-11-29	ISSUED FOR TENDER	S. MCCOY

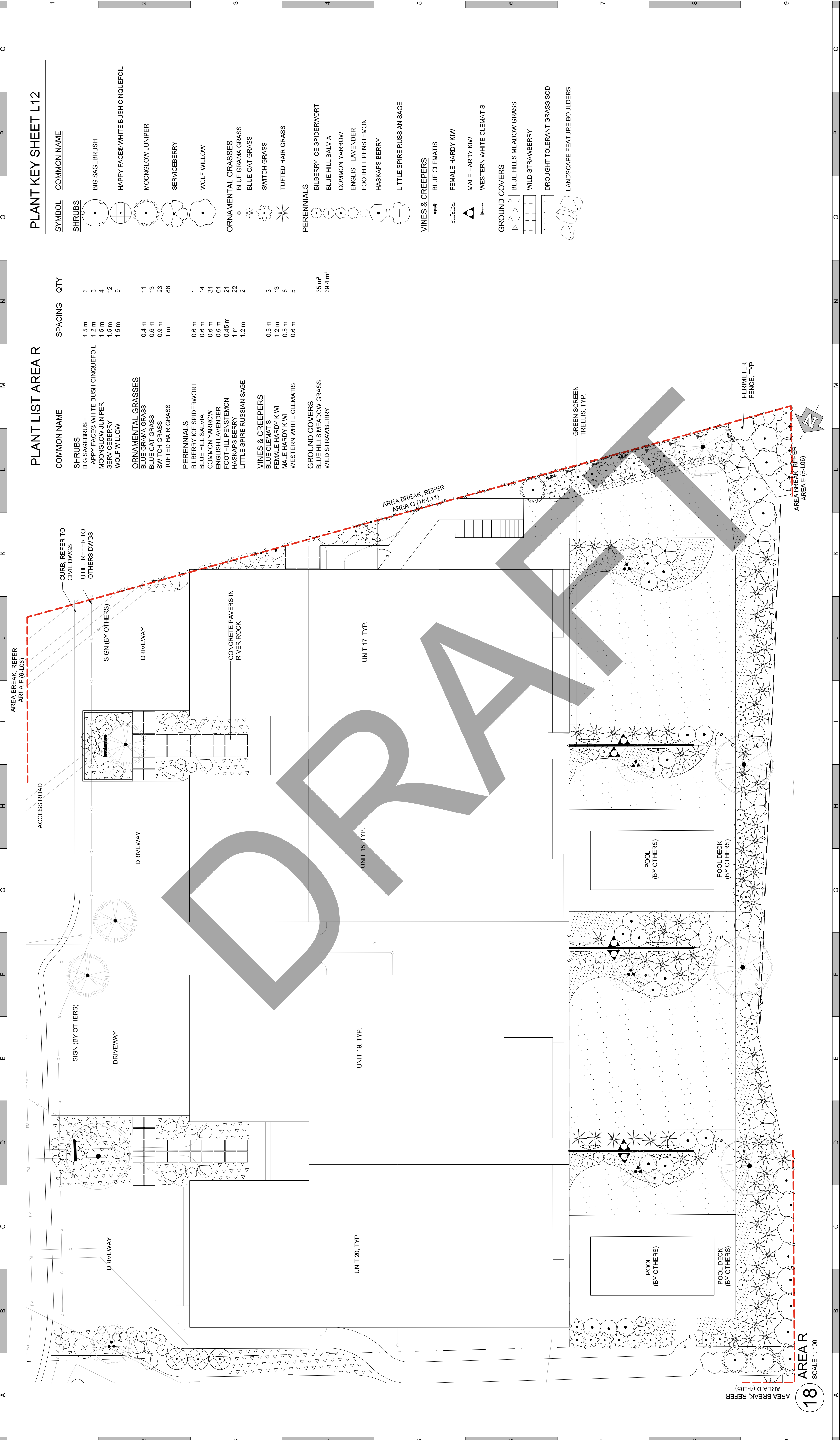
**URBANSYSTEMS**  
Scale: 1:100  
Quality Control by: S. Gull, S. McCoy, E. Green  
Designed by: S. Gull, S. McCoy, E. Green  
Drawn by: S. Gull, S. McCoy, E. Green

**OWLS NEST**  
SHRUB PLANTING ENLARGEMENTS 7

Sheet Number: 12 of 19  
Project Number: 4265.0001.03  
Drawing Number: L11  
Revision: 3

ANSI expand D (34.00 x 22.00 inches) 25mm

NOT FOR CONSTRUCTION



PLANT KEY SHEET L12

SYMBOL	COMMON NAME
<b>SHRUBS</b>	
	BIG SAGEBRUSH
	HAPPY FACE® WHITE BUSH CINQUEFOIL
	MOONGLOW JUNIPER
	SERVICEBERRY
	WOLF WILLOW
<b>ORNAMENTAL GRASSES</b>	
	BLUE GRAMA GRASS
	BLUE OAT GRASS
	SWITCH GRASS
	TUFTED HAIR GRASS
<b>PERENNIALS</b>	
	BILBERRY ICE SPIDERWORT
	BLUE HILL SALVIA
	COMMON YARROW
	ENGLISH LAVENDER
	FOOTHILL PENSTEMON
	HASKAPS BERRY
	LITTLE SPIRE RUSSIAN SAGE
<b>VINES &amp; CREEPERS</b>	
	BLUE CLEMATIS
	FEMALE HARDY KIWII
	MALE HARDY KIWII
	WESTERN WHITE CLEMATIS
<b>GROUND COVERS</b>	
	BLUE HILLS MEADOW GRASS
	WILD STRAWBERRY
	DROUGHT TOLERANT GRASS SOD
	LANDSCAPE FEATURE BOULDERS

PLANT LIST AREA R

COMMON NAME	SPACING	QTY
<b>SHRUBS</b>		
BIG SAGEBRUSH	1.5 m	3
HAPPY FACE® WHITE BUSH CINQUEFOIL	1.2 m	3
MOONGLOW JUNIPER	1.5 m	4
SERVICEBERRY	1.3 m	12
WOLF WILLOW	1.3 m	9
<b>ORNAMENTAL GRASSES</b>		
BLUE GRAMA GRASS	0.4 m	11
BLUE OAT GRASS	0.6 m	13
SWITCH GRASS	0.9 m	23
TUFTED HAIR GRASS	1 m	86
<b>PERENNIALS</b>		
BILBERRY ICE SPIDERWORT	0.6 m	1
BLUE HILL SALVIA	0.6 m	14
COMMON YARROW	0.6 m	31
ENGLISH LAVENDER	0.6 m	61
FOOTHILL PENSTEMON	0.45 m	21
HASKAPS BERRY	1 m	22
LITTLE SPIRE RUSSIAN SAGE	1.2 m	2
<b>VINES &amp; CREEPERS</b>		
BLUE CLEMATIS	0.6 m	3
FEMALE HARDY KIWII	1.2 m	13
MALE HARDY KIWII	0.6 m	6
WESTERN WHITE CLEMATIS	0.6 m	5
<b>GROUND COVERS</b>		
BLUE HILLS MEADOW GRASS	35 m <sup>2</sup>	
WILD STRAWBERRY	39.4 m <sup>2</sup>	

OWLS NEST  
SHRUB PLANTING ENLARGEMENTS 8

Sheet Number	13 of 19
Project Number	4265.0001.03
Drawing Number	L12
Revision	3

**URBAN SYSTEMS**

Scale: 1:100

Quality Control by: S. Gull, S. McCoy, E. Green

ANSI expand D (34.00 x 22.00 inches) 25mm

**CANTIRO**  
Amazing Lives Happen Here

#	Date	Issue / Revision	Appr
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
02	2024-10-15	100% DETAILED DESIGN	S. MCCOY
03	2024-11-29	ISSUED FOR TENDER	S. MCCOY

Professional Seals

**ISSUED FOR TENDER**  
November 29th, 2024  
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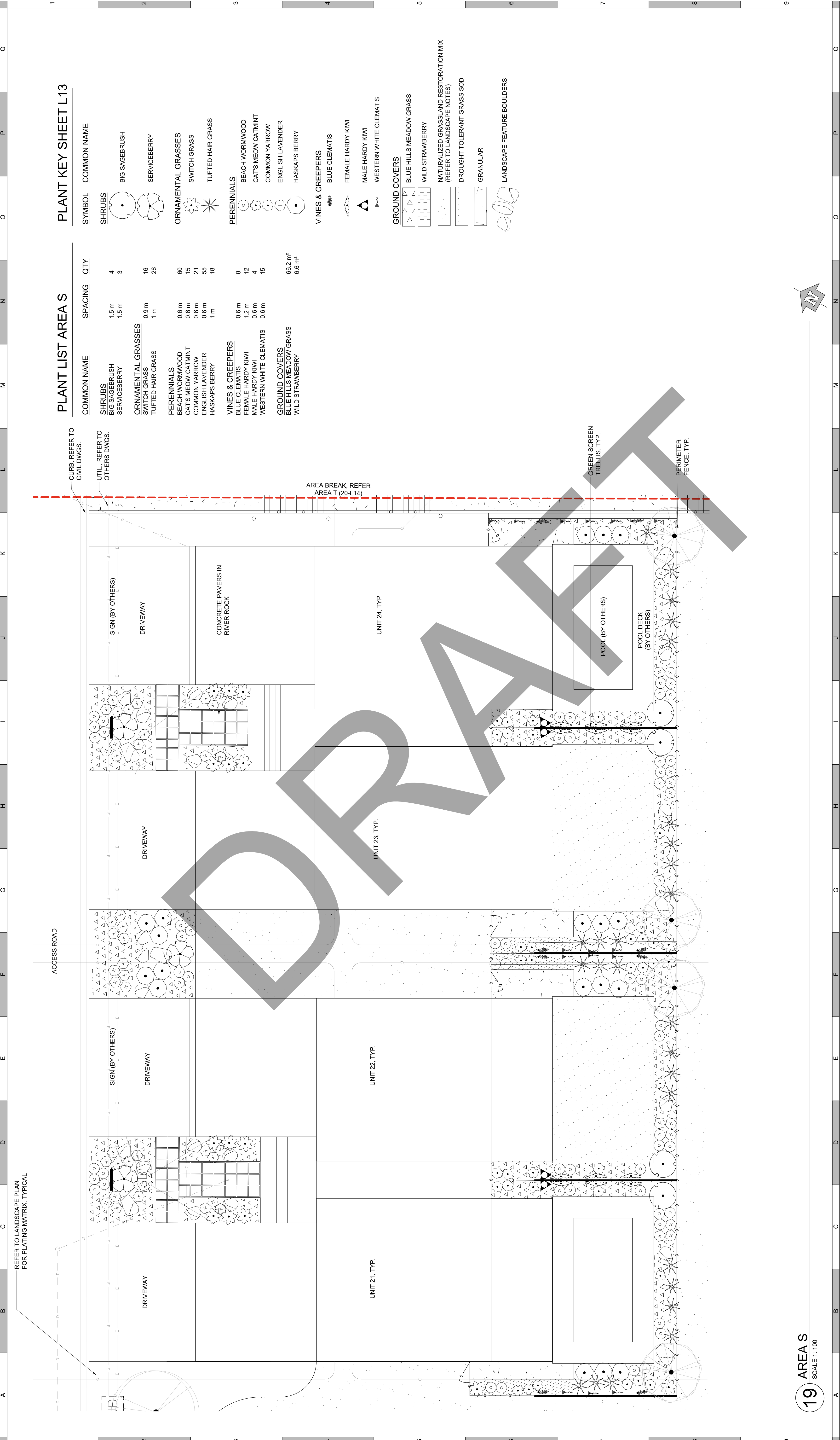
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**SURVEY INFORMATION**  
Prepared by: VECTOCOR INC. LTD.  
Completion Date: JUNE 17, 2020

18 AREA R  
SCALE 1:100

NOT FOR CONSTRUCTION



PLANT KEY SHEET L13

SYMBOL	COMMON NAME
	SHRUBS
	BIG SAGEBRUSH
	SERVICEBERRY
	ORNAMENTAL GRASSES
	SWITCH GRASS
	TUFTED HAIR GRASS
	PERENNIALS
	BEACH WORMWOOD
	CAT'S MEOW CATMINT
	COMMON YARROW
	ENGLISH LAVENDER
	HASKAPS BERRY
	VINES & CREEPERS
	BLUE CLEMATIS
	FEMALE HARDY KIWI
	MALE HARDY KIWI
	WESTERN WHITE CLEMATIS
	GROUND COVERS
	BLUE HILLS MEADOW GRASS
	WILD STRAWBERRY
	NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
	DROUGHT TOLERANT GRASS SOD
	GRANULAR
	LANDSCAPE FEATURE BOULDERS

PLANT LIST AREA S

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	4
SERVICEBERRY	1.5 m	3
ORNAMENTAL GRASSES		
SWITCH GRASS	0.9 m	16
TUFTED HAIR GRASS	1 m	26
PERENNIALS		
BEACH WORMWOOD	0.6 m	60
CAT'S MEOW CATMINT	0.6 m	15
COMMON YARROW	0.6 m	21
ENGLISH LAVENDER	0.6 m	55
HASKAPS BERRY	1 m	18
VINES & CREEPERS		
BLUE CLEMATIS	0.6 m	8
FEMALE HARDY KIWI	1.2 m	12
MALE HARDY KIWI	0.6 m	4
WESTERN WHITE CLEMATIS	0.6 m	15
GROUND COVERS		
BLUE HILLS MEADOW GRASS		66.2 m <sup>2</sup>
WILD STRAWBERRY		6.6 m <sup>2</sup>

CURB, REFER TO CIVIL DWGS.

UTIL., REFER TO OTHERS DWGS.

AREA BREAK, REFER AREA T (20-L14)

GREEN SCREEN TRELLIS, TYP.

PERIMETER FENCE, TYP.

ACCESS ROAD

SIGN (BY OTHERS)

DRIVEWAY

CONCRETE PAVERS IN RIVER ROCK

UNIT 24, TYP.

POOL (BY OTHERS)

POOL DECK (BY OTHERS)

DRIVEWAY

DRIVEWAY

UNIT 23, TYP.

SIGN (BY OTHERS)

DRIVEWAY

UNIT 22, TYP.

DRIVEWAY

UNIT 21, TYP.

REFER TO LANDSCAPE PLAN FOR PLANTING MATRIX, TYPICAL

19 AREA S SCALE 1:100

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# Date Issue / Revision

01 2024-09-25 ISSUED FOR REVIEW S. MCCOY

02 2024-10-15 100% DETAILED DESIGN S. MCCOY

03 2024-11-29 ISSUED FOR TENDER S. MCCOY

**URBAN SYSTEMS**

Scale 1:100

Quality Control by S. Gill

Designed by S. McCoy

Drawn by E. Green

OWLS NEST

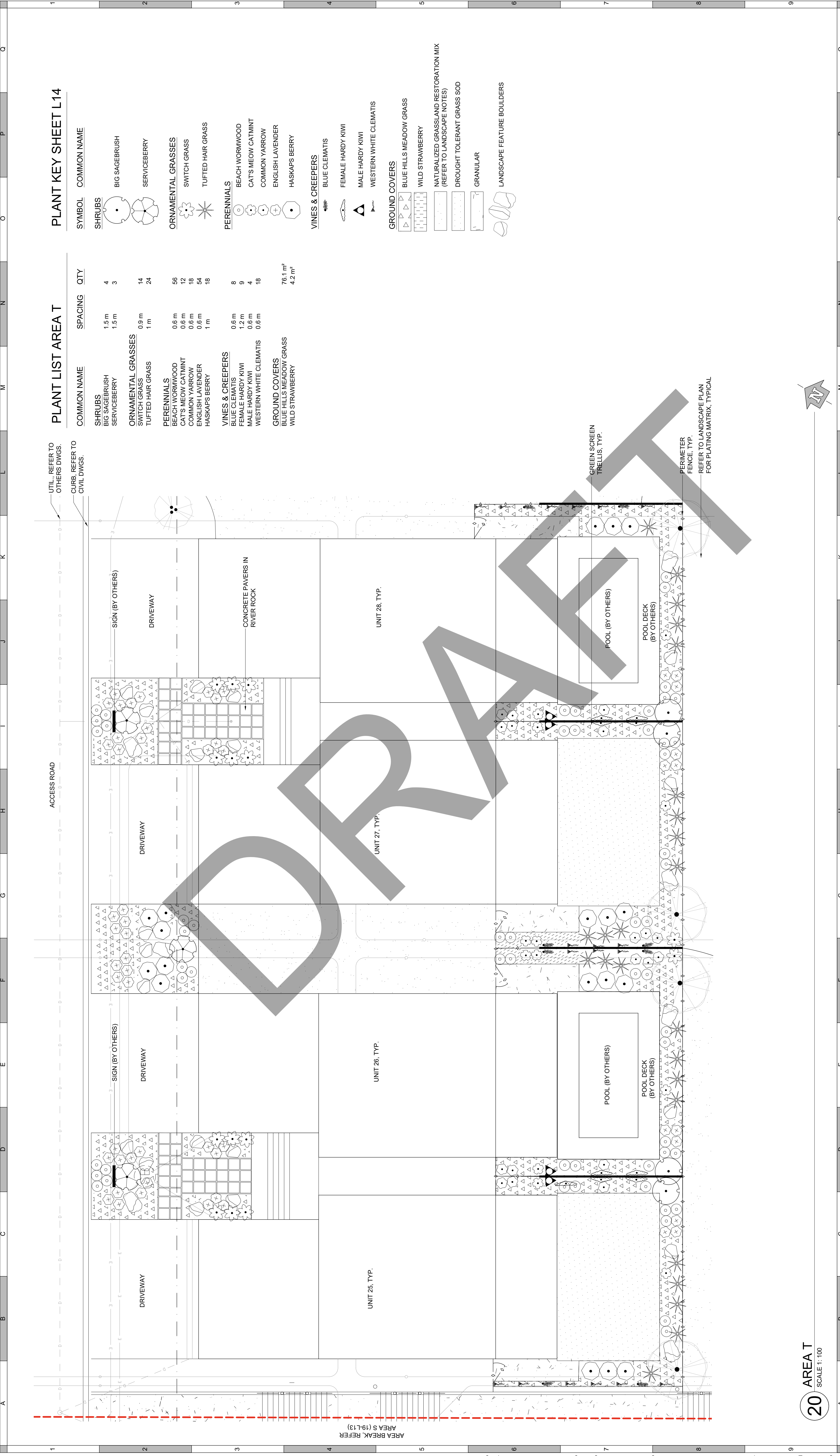
SHRUB PLANTING ENLARGEMENTS 9

Sheet Number 14 of 19

Project Number 4265.0001.03

Drawing Number L13

Revision 3



PLANT KEY SHEET L14

SYMBOL	COMMON NAME
	SHRUBS
	BIG SAGEBRUSH
	SERVICEBERRY
	ORNAMENTAL GRASSES
	SWITCH GRASS
	TUFTED HAIR GRASS
	PERENNIALS
	BEACH WORMWOOD
	CAT'S MEOW CATMINT
	COMMON YARROW
	ENGLISH LAVENDER
	HASKAPS BERRY
	VINES & CREEPERS
	BLUE CLEMATIS
	FEMALE HARDY KIW
	MALE HARDY KIW
	WESTERN WHITE CLEMATIS
	GROUND COVERS
	BLUE HILLS MEADOW GRASS
	WILD STRAWBERRY
	NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
	DROUGHT TOLERANT GRASS SOD
	GRANULAR
	LANDSCAPE FEATURE BOULDERS

PLANT LIST AREA T

COMMON NAME	SPACING	QTY
SHRUBS		
BIG SAGEBRUSH	1.5 m	4
SERVICEBERRY	1.5 m	3
ORNAMENTAL GRASSES		
TUFTED HAIR GRASS	0.9 m	14
	1 m	24
PERENNIALS		
BEACH WORMWOOD	0.6 m	56
CAT'S MEOW CATMINT	0.6 m	12
COMMON YARROW	0.6 m	18
ENGLISH LAVENDER	0.6 m	54
HASKAPS BERRY	1 m	18
VINES & CREEPERS		
BLUE CLEMATIS	0.6 m	8
FEMALE HARDY KIW	1.2 m	9
MALE HARDY KIW	0.6 m	4
WESTERN WHITE CLEMATIS	0.6 m	18
GROUND COVERS		
BLUE HILLS MEADOW GRASS	76.1 m <sup>2</sup>	
WILD STRAWBERRY	4.2 m <sup>2</sup>	

UTIL., REFER TO OTHERS DWGS.  
CURB, REFER TO CIVIL DWGS.

ACCESS ROAD

AREA BREAK, REFER AREAS (19-13)

UNIT 25, TYP.

UNIT 26, TYP.

UNIT 27, TYP.

UNIT 28, TYP.

POOL (BY OTHERS)

POOL DECK (BY OTHERS)

POOL (BY OTHERS)

POOL DECK (BY OTHERS)

GREEN SCREEN TRELLIS, TYP.

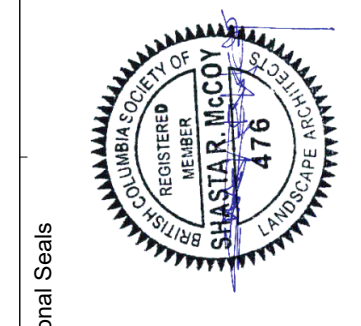
PERIMETER FENCE, TYP.

REFER TO LANDSCAPE PLAN FOR PLANTING MATRIX, TYPICAL

20 AREA T  
SCALE 1:100

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November 29th, 2024  
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#	Date	Issue / Revision	Appr.
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
02	2024-10-15	100% DETAILED DESIGN	S. MCCOY
03	2024-11-29	ISSUED FOR TENDER	S. MCCOY

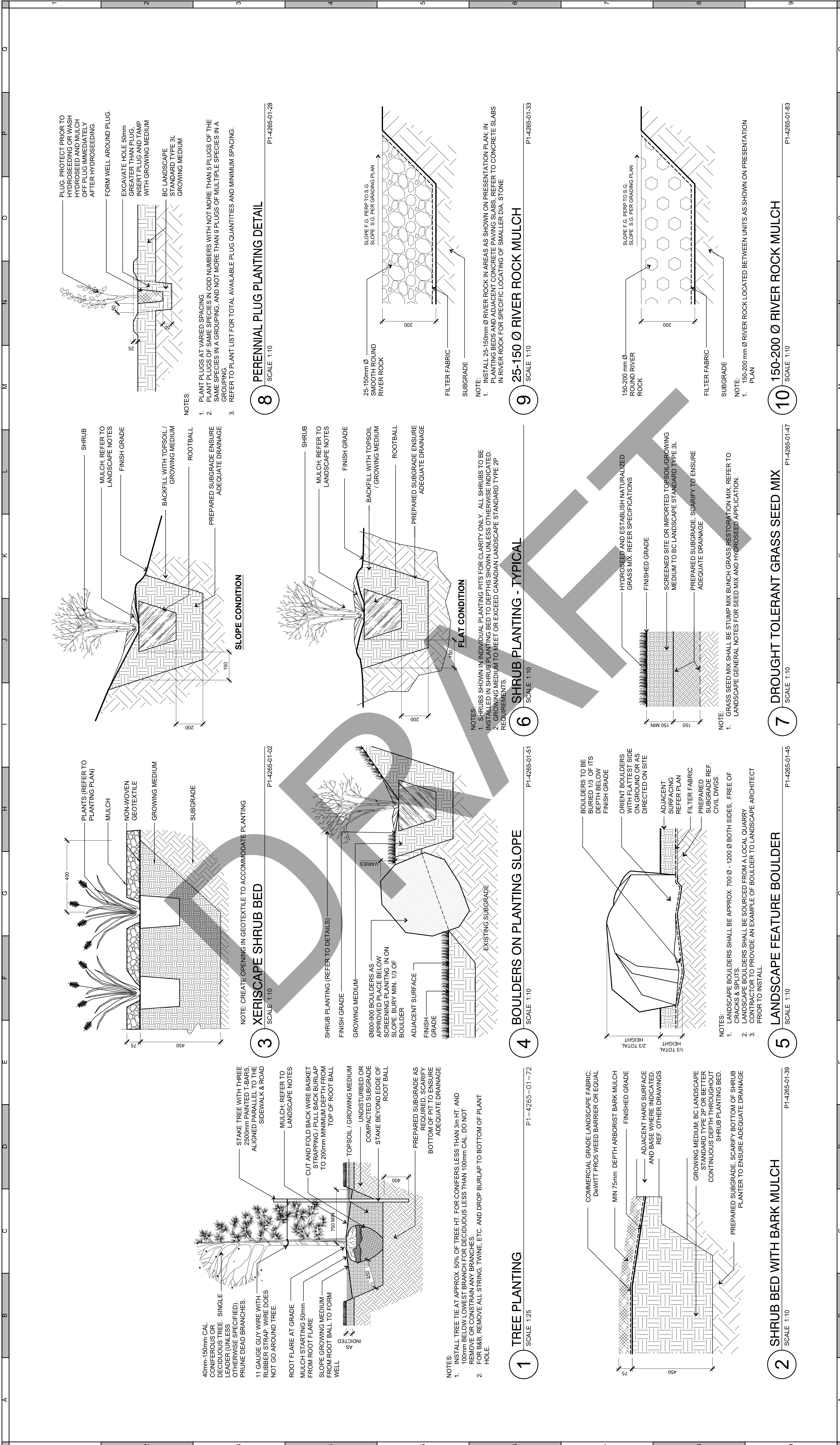
CANTIRO  
Amazing Lives Happen Here

URBAN SYSTEMS  
Scale 1:100  
Quality Control by S. Gull, S. McCoy, E. Green  
Designed by Urban Systems Ltd.

Project Number	Drawing Number	Revision
4265.0001.03	L14	3

OWLS NEST  
SHRUB PLANTING ENLARGEMENTS 10





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**SURVEY INFORMATION**  
Prepared by: VECTOCOR ENGINEERING CONSULTANTS LTD.  
Project Name: (M) 103-D-DET.DWG  
Completion Date: JUNE 17, 2020

**ISSUED FOR TENDER**  
November 29th, 2024  
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AS SHOWN  
Quality Control by  
Designed by  
Drawn by

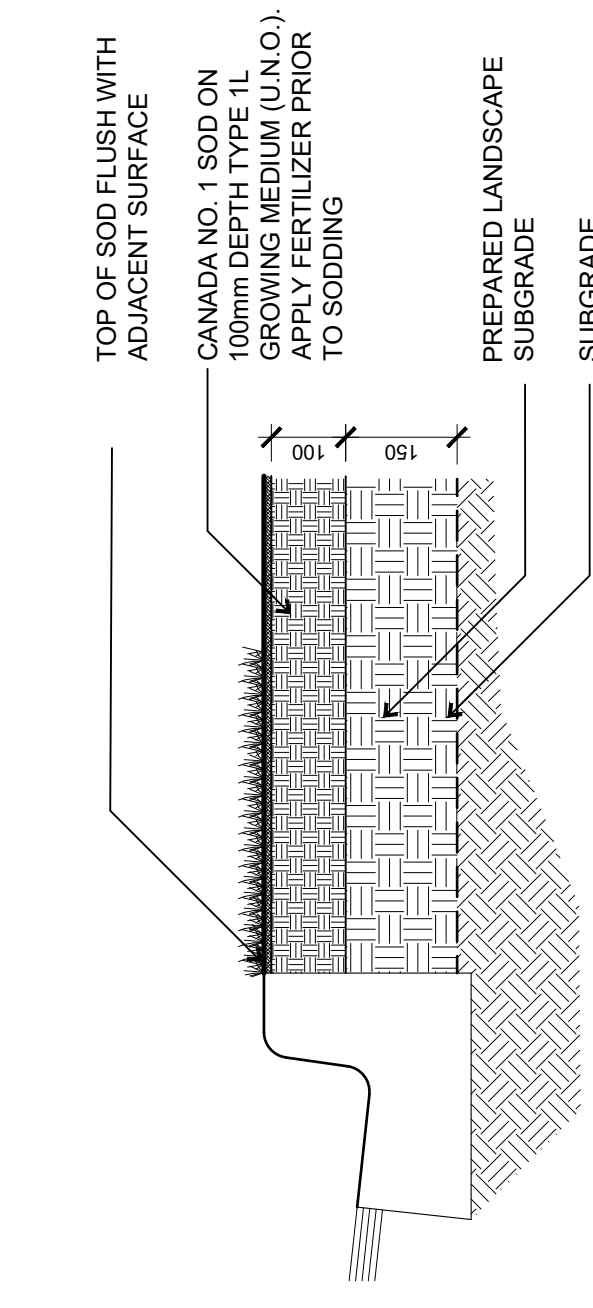
**CANTIRO**  
Amazing Lives Happen Here

**OWLS NEST**  
LANDSCAPE DETAILS 2

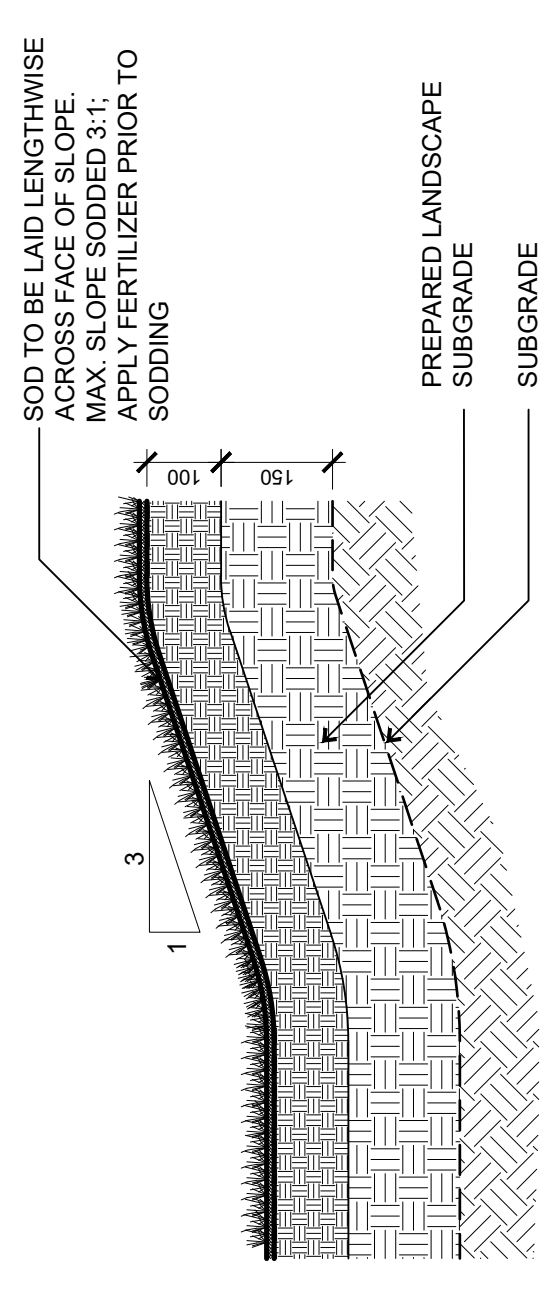
Sheet Number: 17 of 19  
Project Number: 4265.0001.03  
Drawing Number: L16  
Revision: 3

ANSI expand D (34.00 x 22.00 inches) 25mm

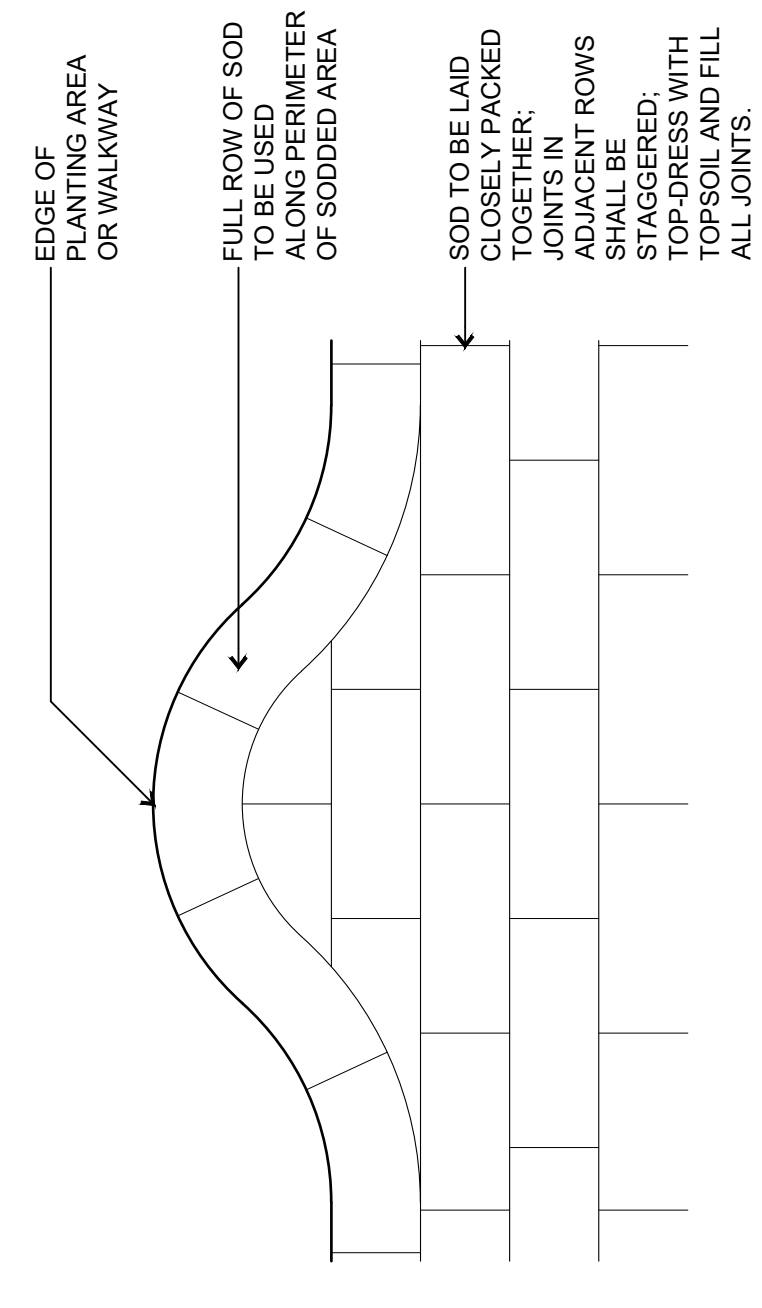
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TYPICAL SECTION THROUGH SOD  
SCALE 1:10



TYPICAL SECTION THROUGH SLOPE  
SCALE 1:10



TYPICAL PLAN VIEW OF SOD PLACEMENT  
SCALE 1:10

**1** TYPICAL SOD INSTALLATION  
SCALE AS NOTED

P1-4265-01-46

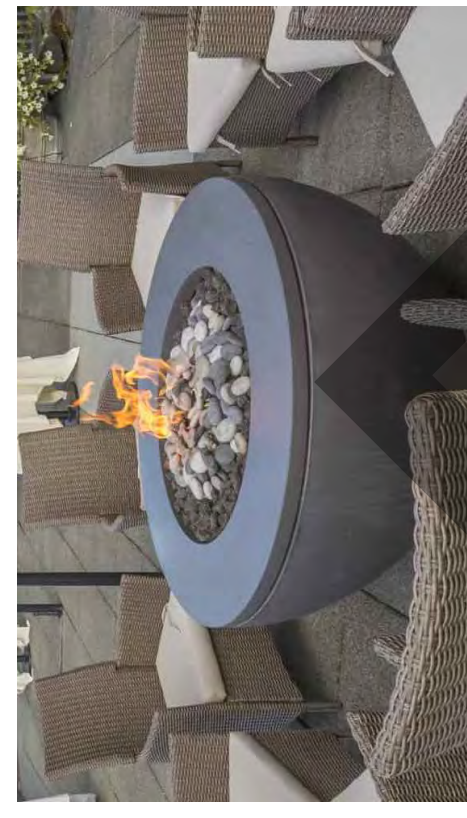


FIG. EXAMPLE OF FIRE PIT

- NOTES:
1. MODEL: HEM 48 WITH CONCRETE RING OR APPROVED EQUIVALENT.
  2. COLOR: METALLIC SILVER COLOR.
  3. NOTE: INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

**2** GAS FIRE PIT  
SCALE 1:20

P1-4265-01-21



FIG. EXAMPLE OF BIKE RACK

- NOTES:
1. MODEL: METRO 40 RIDE BIKE RACK OR APPROVED EQUIVALENT.
  2. COLOR: METALLIC SILVER COLOR.
  3. NOTE: INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

**3** BIKE RACK  
SCALE N.T.S.

P1-4265-01-12



FIG. EXAMPLE OF CHAISE LOUNGE CHAIR

- NOTES:
1. CHAISE LOUNGE: 700 SERIES - 720 CHAISE LOUNGE, OR APPROVED EQUIVALENT.
  2. COLOUR & SEATING MATERIAL TO BE DETERMINED.

**5** CHAISE LOUNGE  
SCALE 1:20

P1-4265-01-13



FIG. EXAMPLE OF AGRICULTURAL SIGN

- NOTES:
1. EXAMPLE OF EDUCATIONAL SIGNING INFORMING HOMEOWNERS/USERS OF AGRICULTURAL OPERATIONS. CONTRACTOR TO PROVIDE CLIENT REPRESENTATIVE WITH SHOP DRAWINGS AND LOCATION PLAN PRIOR TO INSTALL FOR REVIEW AND FINALIZATION/ REVISIONS TO LANDSCAPE AREA. IF REQUIRED.
  2. CLIENT REPRESENTATIVE TO PROVIDE CONTRACTOR WITH CORRECT GRAPHICS/ VERBAGE FOR SIGN AS REQUESTED BY ALR REPRESENTATIVE.
  3. EXACT LOCATIONS OF SIGNS TO BE DETERMINED.

**6** ALR AGRICULTURAL SIGN  
SCALE N.T.S.

P1-4265-01-86

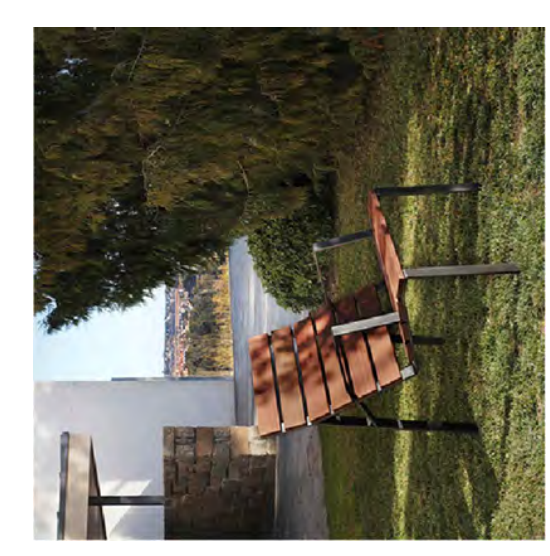
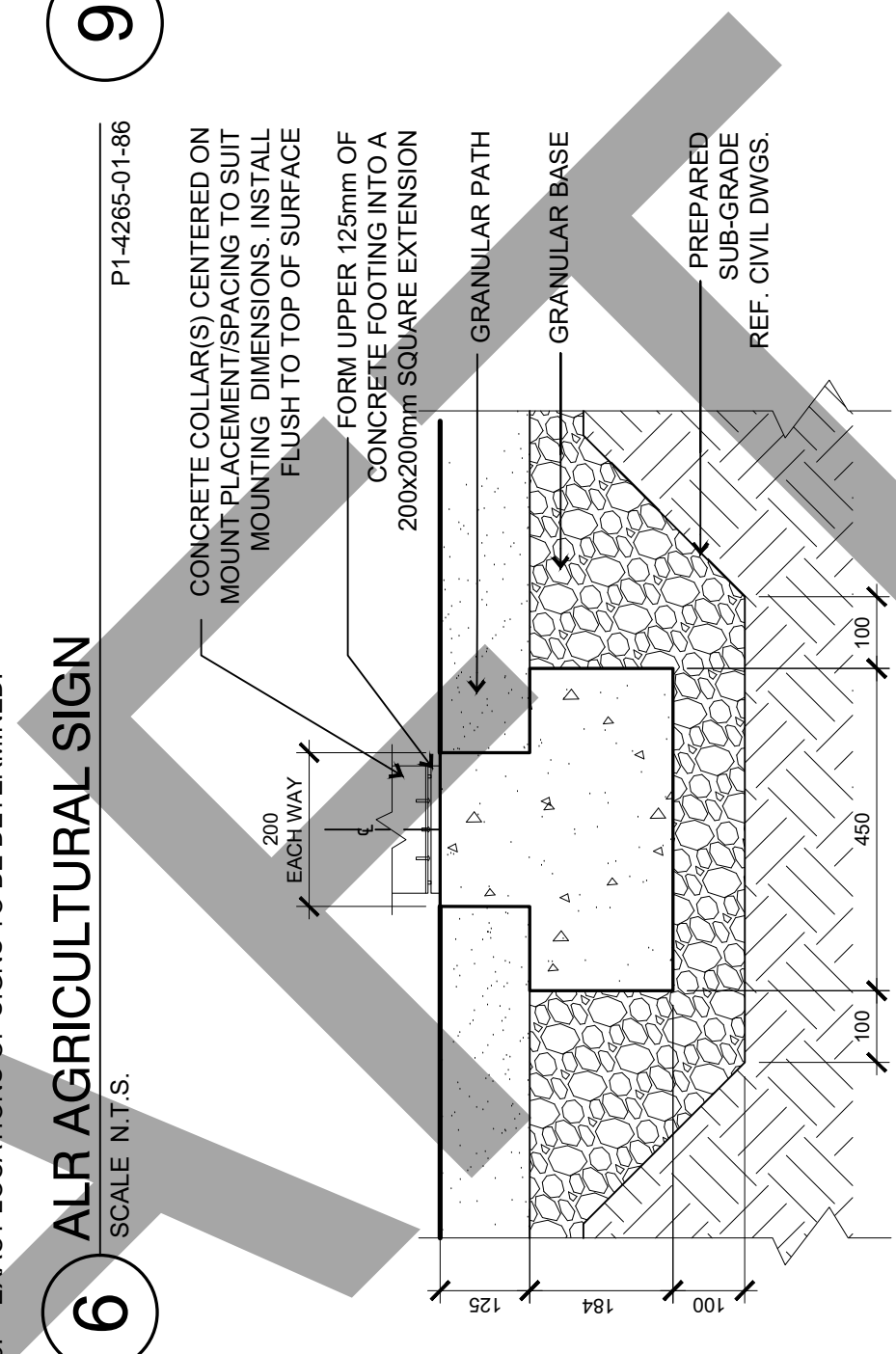


FIG. EXAMPLE OF LOUNGE CHAIR

- NOTES:
1. MODEL: HARPO LOUNGE CHAIR OR APPROVED EQUIVALENT.
  2. MOUNT: SURFACE MOUNT ON CONCRETE FURNITURE FOOTING. INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

**4** HARPO LOUNGE CHAIR  
SCALE 1:20

P1-4265-01-14



**7** CONCRETE FURNISHING FOOTING  
SCALE 1:10

P1-4265-01-56

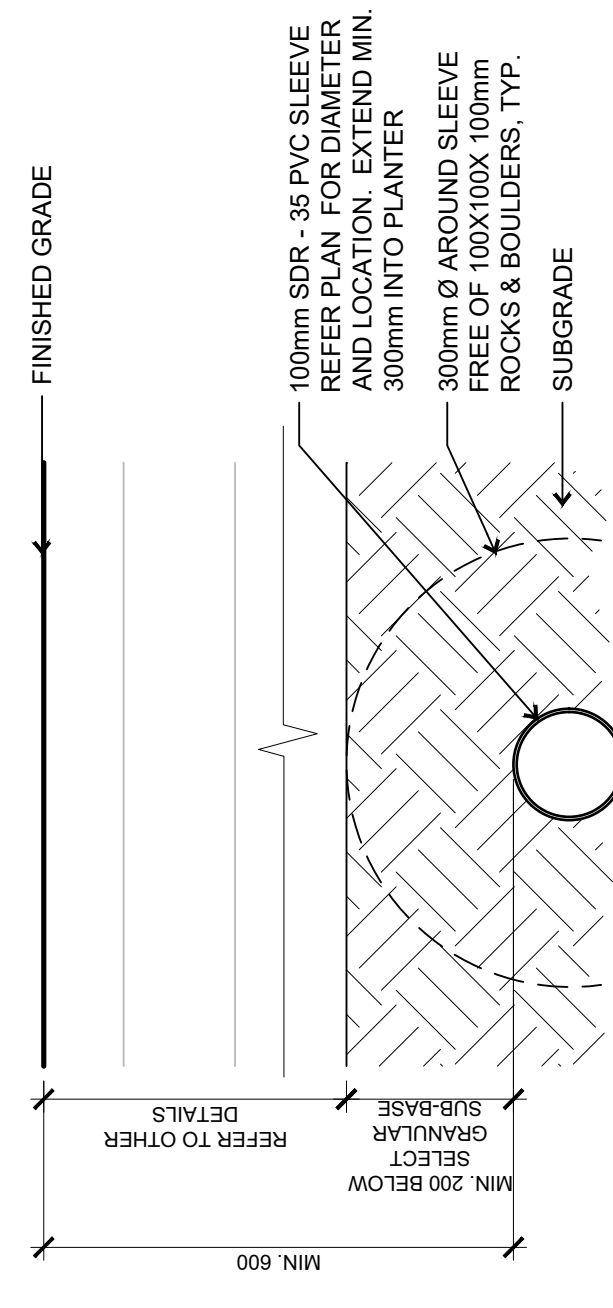


FIG. EXAMPLE OF CONCRETE ROMAN STEPS

- NOTES:
1. CONCRETE ROMAN STEPS SHALL BE MODEL RS48: 1.21 X 0.46 X 0.15 M. NATURAL CONCRETE COLOUR, LIGHT SAND BLAST FINISH.
  2. CONCRETE ROMAN STEPS AVAILABLE FROM SANDERSON CONCRETE.CA. T. (604) 580-4108
  3. INSTALL AS PER MANUFACTURERS SPECIFICATION.

**8** PRE-CAST CONCRETE STEPS  
SCALE N.T.S.

P1-4265-01-80



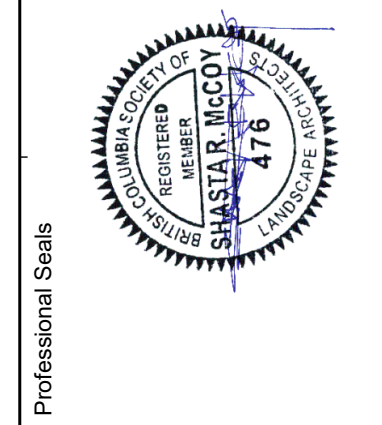
- NOTES:
1. EXTEND SLEEVE MIN. 300MM BEYOND EACH SIDE OF SURFACING ABOVE.
  2. ROCKS/SLEEVES TO BE INSTALLED PRIOR TO POURING EQUIVALENT.
  3. WOOD STAKES TO BE REMOVED AFTER INSTALL OF IRRIGATION LINES.

**9** IRRIGATION SLEEVE  
SCALE 1:10

P1-4265-01-59

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**SURVEY INFORMATION**  
Prepared by: VECTOR SURVEYING INC. LTD.  
Project Number: 2024-09-25  
Completion Date: JUNE 17, 2020



#	Date	Issue / Revision	Appr
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
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**CANTIRO**  
Amazing Lives happen Here

**URBAN SYSTEMS**  
AS SHOWN  
Quality Control by  
Designed by  
Drawn By

**OWLS NEST**  
LANDSCAPE DETAILS 3

Sheet Number  
Project Number  
Drawing Number  
Revision

18 of 19  
4265.0001.03  
L17  
3



**1** FORESHORE LANDSCAPE PLAN  
SCALE 1: 200

**COIR LOG SCHEDULE**

SYMBOL	COMMON NAME	BOTANICAL NAME	CONTAINER	SPACING (M)	QTY
	DOUGLAS MAPLE	ACER GLABRUM/DOUGLASII	#2	1.50	5
	COMMON YARROW	ACHILLEA MILLEFOLIUM	#1	0.60	10
	SERVICEBERRY	AMELANCHIER ALNIFOLIA	#2	1.50	24
	WESTERN COLUMBINE	AQUILEGIA FORMOSA	#1	0.60	18
	ARROWLEAF BALSAMROOT	BALSAMORHIZA SAGITTATA	PLUG	AS SHOWN	89
	DWARF RED TWIG DOGWOOD	CORNUS SERICEA ALLEMAN'S COMPACT	#2	1.20	7
	BLUE WILDRYE	ELYMUS GLAUCUS	#1	0.60	14
	ORANGE HONEYSUCKLE	LONICERA CILIOSA	#1	1.20	22
	OREGON GRAPE	MAHONIA AQUIFOLIUM	#2	1.20	40
	BLUEBUNCH WHEATGRASS	PSEUDOROGENERIA SPICATA	PLUG	1.00	161
	SMOOTH SUMAC	RHUS GLABRA	#2	1.75	4
	COMMON PRICKLY ROSE	ROSA ACICULARIS	#2	1.50	34
	BLACK-EYED SUSAN	RUDBECKIA HIRTA	#1	0.60	35
	RUSSETT BUFFALOBERRY	SHEPHERDIA CANADENSIS	#2	2.00	7
	COMMON WHITE SNOWBERRY	SYMPHORICARPOS ALBUS	#2	1.20	17

**COIR LOG SCHEDULE**

COIR LOG SCHEDULE A	COMMON NAME	BOTANICAL NAME	CONTAINER
	WESTERN COLUMBINE	AQUILEGIA FORMOSA	PLUG
	BLUE WILD RYE	ELYMUS GLAUCUS	PLUG
	WILD STRAWBERRY	FRAGARIA VIRGINIANA	PLUG
	ORANGE HONEYSUCKLE	LONICERA CILIOSA	PLUG
COIR LOG SCHEDULE B	COMMON NAME	BOTANICAL NAME	CONTAINER
	WATER SEDGE	CAREX AQUATILIS	PLUG
	SLOUGH SEDGE	CAREX OBLINATA	PLUG
	BEAKED SEDGE	CAREX ROSTRATA	PLUG
	BUNCH BERRY	CORNUS CANADENSIS	PLUG
	WILD STRAWBERRY	FRAGARIA VIRGINIANA	PLUG
	TWINFLOWER	LINNAEA BOREALIS	PLUG



FIG 1: UNINSTALLED VEGETATED COIR LOGS FIG 2: COIR LOG INSTALLATION

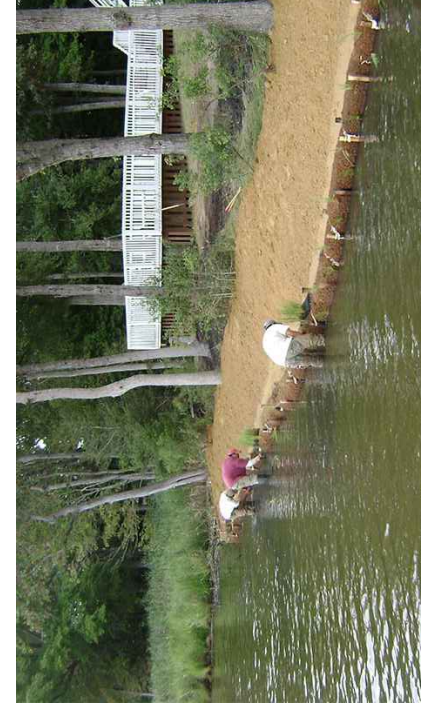


FIG 3: VEGETATED INSTALLED

**2** EXAMPLES OF COIR LOGS

**3** EXAMPLE OF EMBEDDED CONCRETE RETAINMENT



FIG: EMBEDDED CONCRETE RETAINMENT

**ISSUED FOR TENDER**  
November 29th, 2024  
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**SURVEY INFORMATION**  
Prepared by: VECTOCOR INC. LTD.  
Project Number: 2024-11-28-03:31 pm  
Completion Date: JUNE 17, 2020

Professional Seals

Professional Seals

#	Date	Issue / Revision	Appr
01	2024-09-25	ISSUED FOR REVIEW	S. MCCOY
02	2024-10-15	100% DETAILED DESIGN	S. MCCOY
03	2024-11-29	ISSUED FOR TENDER	S. MCCOY

**CANTIRO**  
Amazing Lives Happen Here

**URBAN SYSTEMS**

Scale: 1:200  
0 4 8m

Quality Control by:  
Designed by:  
Drawn by:

S. Gull  
S. McCoy  
E. Green

Project Number: 4265.0001.03  
Drawing Number: L18  
Revision: 3

Sheet Number: 19 of 19

OWLS NEST  
FORESHORE RESTORATION PLAN

# Schedule C - DP001093 - Landscape Plan

Phase	Units	Sub-total	25% Contingency	Total
1	19-20	\$ 44,061.00	\$ 11,015.25	\$ 55,076.25
2	16-18	\$ 69,022.00	\$ 17,255.50	\$ 86,277.50
3	14-15	\$ 38,260.00	\$ 9,565.00	\$ 47,825.00
4	12 - 13	\$ 34,360.00	\$ 8,590.00	\$ 42,950.00
5	10-11	\$ 35,464.00	\$ 8,866.00	\$ 44,330.00
6	21-22	\$ 43,894.00	\$ 10,973.50	\$ 54,867.50
7	23-24	\$ 44,034.00	\$ 11,008.50	\$ 55,042.50
8	25-26	\$ 43,634.00	\$ 10,908.50	\$ 54,542.50
9	27-28	\$ 56,409.00	\$ 14,102.25	\$ 70,511.25
10	8-9	\$ 32,145.00	\$ 8,036.25	\$ 40,181.25
11	6-7	\$ 31,153.00	\$ 7,788.25	\$ 38,941.25
12	4-5	\$ 32,855.00	\$ 8,213.75	\$ 41,068.75
13	2-3	\$ 29,142.00	\$ 7,285.50	\$ 36,427.50
14	1	\$ 19,551.00	\$ 4,887.75	\$ 24,438.75
15A	Common Landscape	\$ 853,900.00	\$ 213,475.00	\$ 1,067,375.00
15B	Foreshore	\$ 176,115.00	\$ 44,028.75	\$ 220,143.75





Schedule D - DP001093 - Three-Tier Retaining Walls

**3D Renderings – Three Tiers**

