

# URBAN MEMORANDUM

SYSTEMS

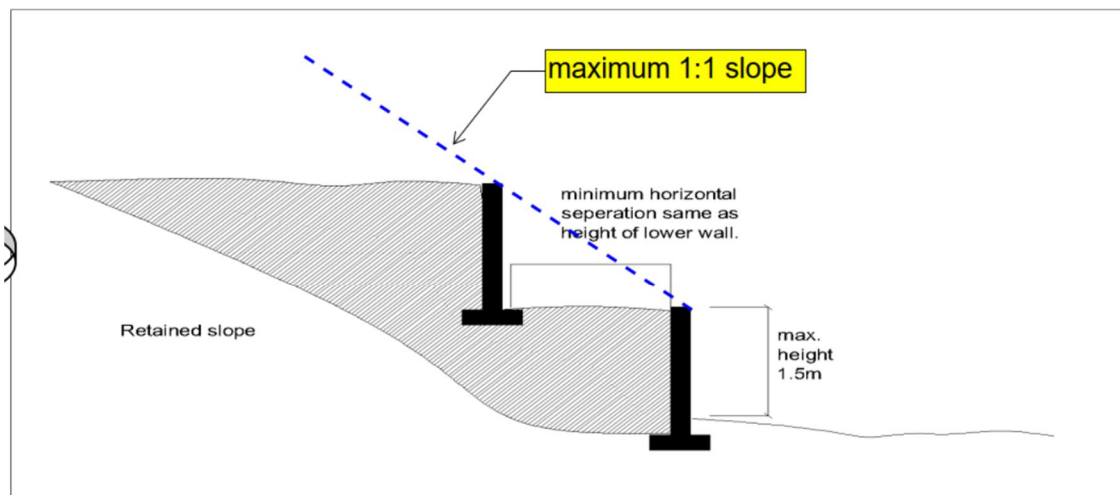
DATE: July 25, 2025  
 TO: Paul Donaldson and Chris Johnstone, Cantiro  
 CC: Sheldon Gull, Tanvi Patel; Urban Systems  
 FROM: Jason Barta  
 FILE: 4265.0001.03-R  
 SUBJECT: Retaining Wall Design Change Rationale

## 1.0 BACKGROUND

The District of Lake Country (District) has identified issues with the proposed design drawings for the retaining wall building permit. There are two main issues that the District has expressed to Cantiro and Urban Systems:

1. The overall slope of the tiered wall system exceeds the maximum 1:1 slope set out in the zoning bylaw.
2. There are more wall tiers shown in the 2024 Permit application than in the approved 2022 Development Permit (DP) package.

This memorandum provides the rationale for the design changes made after the approval of the DP drawings in 2022.



**Diagram 8.7: Retaining wall separation**

Figure 1 – Retaining Wall Guidelines from Zoning Bylaw 561, 2007

Appendix A shows the wall arrangements of both the 2022 DP submission and the 2024 re-design.

To provide additional context, a timeline of submissions and issues impacting the overall site grading are provided in the next section.

**URBAN** SYSTEMS MEMORANDUM

DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 2 of 10

SUBJECT: Retaining Wall Design Change Rationale

**2.0 PROJECT TIMELINE (AS RELATED TO SITE GRADING & RETAINING WALLS)**

- 2020-12-22 DP Application submitted to District.
- 2021-11-10 District provided DP comments to Cantiro. The primary issue impacting site grades was the proposed turnaround bulb at the south end of Evans Road did not meet the SDS Bylaw standard for cul-de-sacs.
- 2022-02-09 Urban Systems met with the District. Urban showed how proposed turnaround could accommodate 3-point turns for largest fire department vehicles and how a standard cul-de-sac would encroach significantly into the site due to the slope from Evans Road to the Rail Trail. A modified hammerhead was discussed as an alternative as it could be approved by the District Engineer without a Development Variance.
- 2022-05 DP Arch/Civil package (servicing report & drawings) re-issued including Landscape Plans.
- 2022-09-20 New Driveway Access Guidelines by District of Lake Country. Repealed Access Bylaw Grade Policy 181, 2020.
- 2023-04-11 Council approved variances for sewerage system, fire flow requirements, cul-de-sac length and emergency egress.
- 2023-12 Urban Systems engages Interior Testing Services Ltd. to provide engineering assessment of multiple tiers of retaining walls. Grades set out in Access Guidelines would raise the grade of the internal ring road by as much as 2 meters in some places, increasing the elevation differential between Suites 1 through 15 and the Rail Trail. Additional wall tiers and/or slopes between wall tiers would be needed to make up this elevation difference.
- 2024-01-11 Meeting with DLC staff regarding access permit and fire department criteria. Received clarification on design vehicles (ladder truck), staging areas (flat road sections), driveway grades per new 2022 Driveway Access Guidelines Policy and consensus on moving forward with a modified hammerhead instead of a standard cul-de-sac bulb.
- 2024-02-02 Submitted Access Upgrades Memo (amended drawings for Access Permit) to District for review. Incorporated modified hammerhead into design and addressed all fire department vehicle (ground clearance), staging, and grade issues.
- 2024-03-15 District approves the access concepts (shape of turnaround, proposed driveway grades).
- 2024-05-14 Access Permit received
- 2024-05-16 Urban submitted revised on-site package to District (Preliminary Onsite Works Report) reflecting hammerhead turnaround, revised road grades and additional retaining wall tiers.
- 2025-06-27 District provides wall height calculation figure (refer back to Figure 1) and considers 2:1 slope between wall tiers as part of wall height, thus exceeding 1.5 meters maximum.
- 2025-07-09 Cantiro, Urban and ITSL met with District planning staff. The District also flagged that the wall permit drawings (2024 design) did not match the 2022 DP submission – a change on site form. Urban explained the grading implications of the modified hammerhead turnaround and road grades set out in the Driveway Access Guidelines document. The District asked the owner to prepare a rationale letter for the change in wall height to support either a wall height amendment or Developer Variance application.

## URBANSYSTEMS MEMORANDUM

DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 3 of 10

SUBJECT: Retaining Wall Design Change Rationale

### 3.0 SITE GRADING CHANGES

Retaining walls help bridge the elevation difference between the site access road and the ground line at the Rail Trail, at the west of the site. An example section is shown in the figure below.

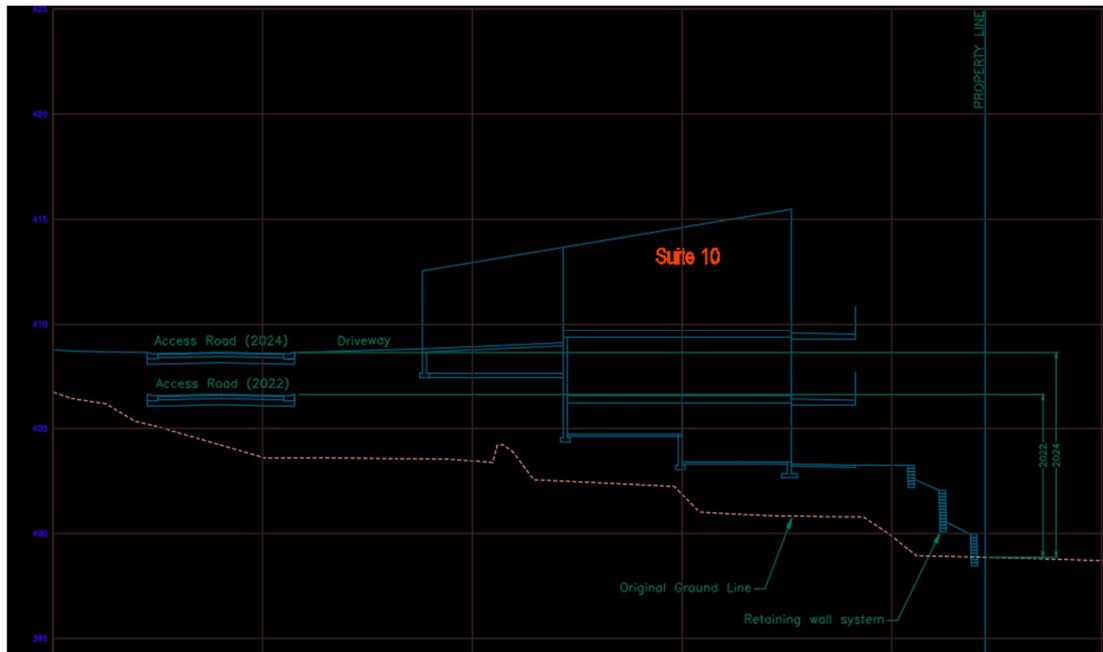


Figure 2 – Elevation Differences: 2022 DP vs 2024 Design

The on-site road profile was raised in 2024 to accommodate the requirements of the Driveway Design & Construction Guidelines Policy 200, 2022. The two elements that governed the road profile were:

- The maximum roadway grade, and
- The grades around the modified hammerhead turnaround.

The SDS Bylaw guidelines allow for a maximum grade of 12% within strata roads. In the January 2024 meeting with the District and Fire Department, it was agreed to lower the maximum grade to 10% for the fire trucks entering the site.

The Driveway Construction Policy and SDS Bylaw also required that the grade along the eastern leg of the modified hammerhead be kept as flat as possible – in this case 3% was used.

The two factors above limited the rate at which the site access road could slope down from Evans Road to the lowest point of the internal roadway. These factors raised the access road profile by as much as two (2) meters and required significantly more fill under the roadway and buildings. As the maximum wall height is restricted to 1.5 meters, the grade change of 2 meters would require at least"

- two additional wall tiers, or
- one tier with a 2:1 slope between the tiers

The addition of each extra wall tier reduces the backyard length by at least 1.5 meters, and there are instances where at least 3 meters of usable back yard space was lost. The lost back yard space could not be reclaimed by shifting the access road west, as that would decrease the length of the roadway and raise the road profile even further, exacerbating the elevation differential to the Rail Trail.

## URBANSYSTEMS MEMORANDUM

DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 4 of 10

SUBJECT: Retaining Wall Design Change Rationale

### 4.0 WALL SECTIONS

Interior Testing Services provided three typical scenarios (one, two and three-tiered walls) for wall design based on the elevation difference. Where there was more than one wall tier, the engineering design also included a 2:1 slope between the tiers to help gain additional elevation.

The figure below illustrates the overall slope (1.4h:1v) of the 2024 design compared to the zoning bylaw maximum of 1h:1v.

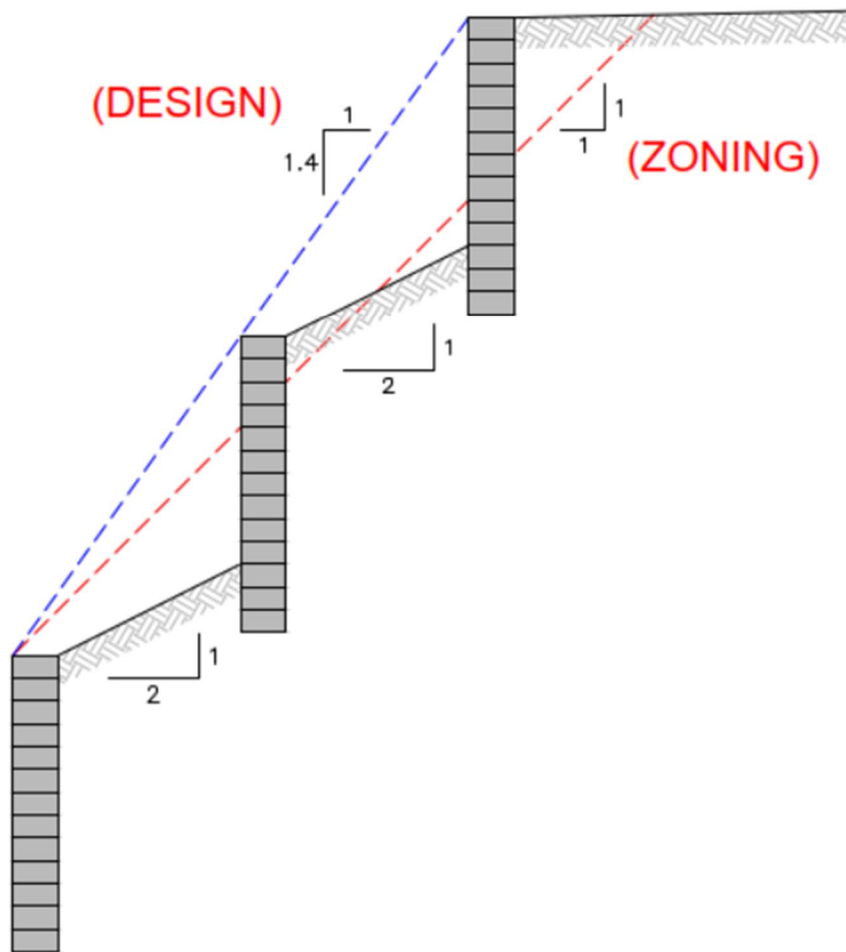


Figure 3 – Retaining Wall Average Slope – Current Design

Spacing the wall tiers further apart to align with the maximum 1h:1v slope would further reduce the backyard space by at least 1.2 meters, beyond to 1.5 to 3.0 meters lost because of the higher road profile.

The DP submission and 2024 design cross sections for the Suites along the Rail Trail have been provided in Appendix B for comparison purposes.

**URBAN** SYSTEMS MEMORANDUM

DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 5 of 10

SUBJECT: Retaining Wall Design Change Rationale

As an alternate option, a two-tiered wall design could be employed, though this would require a wall height variance to bridge the same elevation difference as the 3-tiered design. Figure 4 below illustrates.

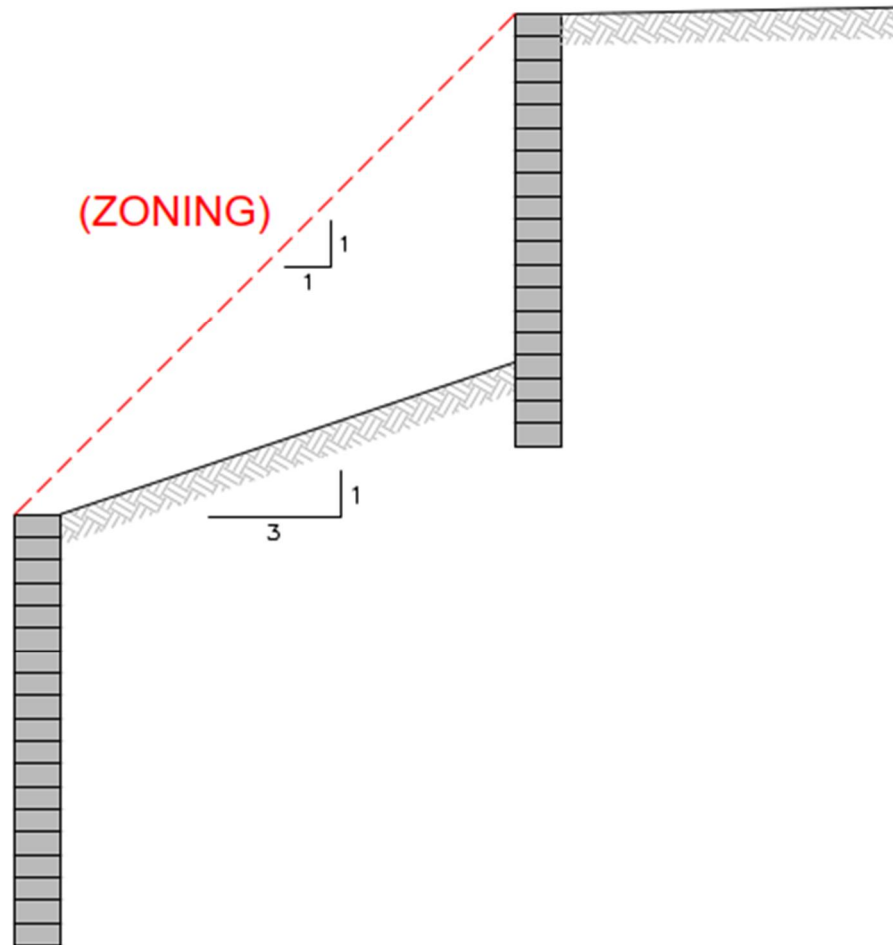


Figure 4 - Retaining Wall Average Slope - Alternate 2 Tier Design

In the example above, the exposed wall height would be approximately 2.4 meters in height, which is 0.9m more than the current maximum allowable wall height set out in the bylaw. Due to the increased wall height, the depth of the wall is only 0.3 meters more than the current 3-tiered design.

**URBAN** SYSTEMS MEMORANDUM

DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 6 of 10

SUBJECT: Retaining Wall Design Change Rationale

## 5.0 CLOSURE

The 2020 DP submission included a traffic button at the end of Evans Road that could accommodate the turning movements for fire trucks via a 3-point turn or traversal through the site ring road. The scale of the traffic button allowed the access road to drop quickly into the interior of the site and minimize the elevation difference between the bottom row units and rail trail lands.

The District review indicated the need for a more robust turn-around structure at the south end of Evans Road that met the cul-de-sac standard or a modified hammerhead, so long as the overall grades met the approval of the District Engineer.

Through multiple meetings and submissions, an approved turnaround and access concept was agreed upon, which raised the interior road profile along the rail trail fronting suites to be raised by as much as two meters.

The raising of the road profile required one or more additional retaining wall tiers to accommodate the elevation differential with the rail trail.

Appendix C includes emails relevant to the District and Fire Department concerns around access that led to the grading changes and District concerns over wall height.

Appendix D illustrates the worst case (3-wall tiers) cross section between the Rail Trail and Development site as well as potential planting concepts to "soften" the wall appearance. This should help the reader understand the form and character of the low side of the development, along with the renderings that Cantiro is preparing. There is also a 2-tiered wall option at the same worst case location, that requires exposed wall heights of more than 1.5 meters, which would require a variance.

Should you have any questions regarding the materials presented, please contact the undersigned.

Sincerely,

URBAN SYSTEMS LTD.



Jason Barta, B.Sc.  
Project Designer

cc: Sheldon Gull, Tanvi Patel

/jb  
Enclosure

U:\Projects\_KEL\4265\0001\03\R-Reports-Studies-Documents\Retaining Wall Permits\2025-07-23 Development Variance Permit\2025-07-23 Rationale memo - Revised site grading and wall heights.docx

**URBAN** SYSTEMS MEMORANDUM

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DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 7 of 10

SUBJECT: Retaining Wall Design Change Rationale

## Appendix A

### Plan View Comparison of retaining wall layout 2022 Application Package & 2024 Design

**HARDSCAPE & SITE FURNISHINGS LEGEND:**

- 5 L05 GRANULAR PATHWAY MATERIAL
- 4 L05 600X 600 CONCRETE PAVER SLABS IN CLEAN WASHED BIRDS EYE PEA GRAVEL
- 8 L05 VEHICULAR LOAD PAVERS
- 1 L05 DECORATIVE GAS FIRE PIT
- 3 L05 PRE-CAST CONCRETE STAIRS
- 9 L05 BICYCLE RACKS ON CONCRETE FOOTING
- 11 L05 BENCH
- 10 L05 CHAISE LOUNGE CHAIR
- 7 L05 HARPO LOUNGE CHAIR
- 6 L05 WASTE RECEPTACLE
- 8 L06 PLUNGE POOL, REFER TO ARCH. DWGS. FOR MORE INFORMATION
- 3 L06 ALR AGRICULTURAL SIGN, LOCATION TO BE DETERMINED
- 2 L06 PERIMETER FENCE
- 2 L06 ALR SCREENING FENCE
- 7 L06 HAND RAILING
- 4 L06 SAFETY RAILING
- 1 L05 RETAINING WALLS REFER TO CIVIL DWGS. FOR GRADING
- RIP RAP OR BOULDER ROCK, REF. CIVIL DWGS.

**NOTES:**

**A. GENERAL NOTES**

- THIS DRAWING PACKAGE IS TO BE READ IN CONJUNCTION WITH THE WRITTEN SPECIFICATIONS, DRAWINGS, AND OTHER DETAILS AS ISSUED FOR THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE TO CONFIRM SITE CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES BETWEEN THE EXISTING SITE AND THE DRAWINGS ARE TO BE REPORTED TO THE CONSULTANT PRIOR TO BIDDING.
- THE LIMITS OF THE WORK ARE TO BE CLEARLY UNDERSTOOD BY THE CONTRACTOR PRIOR TO ANY WORK TAKING PLACE ON SITE. THE CONTRACTOR IS TO CONTACT THE CONSULTANT FOR CLARIFICATION IF REQUIRED.
- ALL ANCILLARY WORK NORMALLY ASSOCIATED WITH THE TYPE OF CONSTRUCTION INDICATED ON THE CONTRACT DRAWINGS AND DOCUMENTS SHALL BE DEEMED TO BE PART OF THE CONTRACT.
- ANY AMBIGUITY IN THIS DRAWING OR ACCOMPANYING DETAILS IS TO BE REPORTED TO THE CONSULTANT. THE CONTRACTOR SHALL NOT PROCEED WITHOUT A CLEAR UNDERSTANDING OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE, PRIOR TO THE START CONSTRUCTION, TO COORDINATE WITH LOCAL UTILITY CORPORATIONS TO LOCATE, OR ARRANGE THE LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE HOARDING AND PROTECTION OF ALL RETAINED ELEMENTS WITHIN THE LIMITS OF WORK; INCLUDING BUT NOT LIMITED TO: EXISTING CURBS, CONCRETE, ASPHALT, GRANULAR OR OTHER SURFACES, LANDSCAPE AMENITIES AND LIVE LANDSCAPE MATERIAL, INCLUDING TREES, SHRUBS, GRASSES AND GROUNDCOVERS WITHIN, OR ADJACENT TO, THE LIMITS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INFORM CONSULTANT OF ANY EXISTING CATCH BASINS, MANHOLES, WATER VALVES, HYDRANTS, ETC. REQUIRING ADJUSTMENT TO MATCH PROPOSED GRADES. IS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE HAULING OF ALL EXCESS MATERIALS OFF THE SITE TO A LOCATION DESIGNATED BY THE CONSULTANT.
- THE CONTRACTOR IS RESPONSIBLE FOR GENERAL SITE CLEAN UP.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO RETAINED LANDSCAPED AREAS AND MUST MAKE ALL NECESSARY RESTORATIONS AND REPAIRS TO MATCH PRE-EXISTING SITE CONDITIONS.

**B. PERMITS, STANDARDS AND TESTING**

- THE CONTRACTOR IS TO ENSURE THAT ALL NECESSARY ARRANGEMENTS ARE MADE WITH APPROPRIATE REGULATORY AUTHORITIES CONCERNING THE MOVEMENT OF MATERIALS AND EQUIPMENT NEAR ANY RIGHTS OF WAY.
- THE CONTRACTOR SHALL PROVIDE PRODUCT SAMPLES FOR ALL GRANULAR SURFACING, MULCHES AND DECORATIVE STONE. SAMPLES SHALL BE PROVIDED FOR APPROVAL FROM CONSULTANT PRIOR TO PURCHASE AND DELIVERY TO THE SITE.
- SOIL TESTING IS REQUIRED ON EACH TYPE OF TOPSOIL & GROWING MEDIUM SPECIFIED FOR USE ON THE PROJECT. THE CONTRACTOR SHALL PROVIDE A SOIL TEXTURE AND NUTRIENT ANALYSIS FROM A QUALIFIED TESTING AGENCY, TO BE SUBMITTED TO THE CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF SAID MATERIAL.

**C. LAYOUT**

- ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR FURTHER DIRECTION.
- ON-SITE LAYOUT IS TO BE CONFIRMED BY THE CONSULTANT PRIOR TO THE START OF CONSTRUCTION.

**D. MATERIALS**

- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS. ANY DISCREPANCIES IN QUANTITIES SHALL BE REPORTED TO THE CONSULTANT FOR DIRECTION.
- NO SUBSTITUTIONS OF MATERIALS, PRODUCTS, OR QUANTITIES SHALL BE PERMITTED WITHOUT PRIOR CONSENT OF THE CONSULTANT.

**E. PLANTING**

- ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK; LOCALLY HARDENED AND ACCLIMATIZED UNLESS APPROVED OTHERWISE, AND SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE, HEIGHT, SPREAD, GRADING, QUALITY, AND METHOD OF CULTIVATION.
- PLANTING AREA 1/L02 SHALL HAVE ALL NON-NATIVE INVASIVE PLANTS/ WEEDS/ TREES REMOVED PRIOR TO PLANTING. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH A SCHEDULE/ REMOVAL PLAN/ SHOP DRAWINGS (IF APPLICABLE) PRIOR TO SITE CONSTRUCTION.
- ALL PLANTING BEDS AND TREE WELLS SHALL RECEIVE 75mm DEPTH MULCH. REFER TO DETAILS AND PLANS FOR TYPE OF MULCH.
- GROWING MEDIUM FOR ALL SHRUB BEDS, INCLUDING TREE PITS, SHALL MEET THE CANADIAN LANDSCAPE STANDARD SPECIFICATIONS FOR TYPE 2P. GROWING MEDIUM FOR NATURALIZED GRASSLANDS SHALL MEET THE CANADIAN LANDSCAPE STANDARD SPECIFICATIONS FOR TYPE 2L.
- ALL AREAS SPECIFIED AS NATURALIZED GRASSLANDS RESTORATION SHALL BE: BROADCAST SEED XERISCAPE WILDFLOWER MIX FROM WEST COAST SEEDS @ A RATE OF 8KG/ HA. C/W:
  - CURLEX NET-FREE EROSION BLANKET FROM AMERICAN EXCELSIOR
  - NATIVE PLUGS PLANTED INTO BLANKET 60-70 cm O.C.
  - PLUG MIX SHALL BE:
    - 50% Bluebunch wheatgrass plugs      20% Idaho fescue plugs
    - 10% Brown-eyed Susan plugs      5% Common harebell plugs
    - 5% Tufted hairgrass plugs      5% Arrow leaf Balsamroot plugs
    - 5% Pasture Sage plugs
- UNDERGROUND IRRIGATION SHALL BE INSTALLED FOR TREES IN TREE WELLS AND PLANTING MATERIALS IN PLANTING BEDS.
- ESTABLISHMENT MAINTENANCE; AS PER THE SPECIFICATIONS, SHALL BE PERFORMED UNTIL CONDITIONS OF ACCEPTANCE HAVE BEEN MET FOR ALL LANDSCAPE AREAS, INCLUDING: TREES, SHRUBS AND GROUNDCOVERS.
- THE WARRANTY PERIOD FOR ALL PLANT MATERIAL, AS PER THE SPECIFICATIONS; SHALL NOT BEGIN UNTIL CONDITIONS OF ACCEPTANCE HAVE BEEN MET FOR ALL LANDSCAPE AREAS, INCLUDING: TREES, SHRUBS AND GROUNDCOVERS REFER TO THE CONTRACT DOCUMENTS FOR MAINTENANCE REQUIREMENTS BEYOND ESTABLISHMENT.
- ALL TREE STAKES ARE TO BE REMOVED BY THE CONTRACTOR BETWEEN 12 AND 18 MONTHS AFTER THE INSTALLATION OF THE TREES. NO ADDITIONAL PAYMENT WILL BE MADE FOR STAKE REMOVAL.

**F. IRRIGATION:**

- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AN IRRIGATION DESIGN AND THE INSTALL. THE CONTRACTOR SHALL PROVIDE THE CLIENTS LANDSCAPE ARCHITECT WITH AN IRRIGATION PLAN FOR REVIEW PRIOR TO INSTALL. IRRIGATION DESIGN SHALL BE COMPLETED BY A CERTIFIED IRRIGATION DESIGNER (CID) BY THE IRRIGATION ASSOCIATION OF BC (IABC).

**SOFTSCAPE KEY:**

- | TREES  | COMMON NAME                        |
|--------|------------------------------------|
| 1 L07  | FLAME AMUR MAPLE                   |
| 3 L07  | ARMSTRONG RED MAPLE                |
| 10 L07 | PRAIRIE STATESMAN SWISS STONE PINE |
| 1 L08  | PONDEROSA PINE                     |
| 4 L07  | QUAKING ASPEN                      |
| 5 L07  | CLUMP FORM QUAKING ASPEN           |
| 6 L07  | REGAL PRINCE OAK                   |
| 7 L07  | SNOWCONE JAPANESE SNOWBELL         |
| 9 L07  | EXISTING TREES, TO REMAIN TYPICAL  |

**MATERIALS:**

- 3 L07 DETAILED PLANTING LAYOUTS, (REFER TO DWGS: L02-L04 AND L09)
- 10 L07 NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
- 1 L08 DROUGHT TOLERANT GRASS SEED MIX
- 1 L08 DROUGHT TOLERANT GRASS SOD
- 4 L07 5 L07 6 L07 ORNAMENTAL, DROUGHT TOLERANT & EDIBLE SHRUB & PERENNIAL PLANTINGS
- 8 L07 COMPOSTED BARK MULCH
- 7 L07 25mm-150mm Ø DECORATIVE RIVER ROCK MULCH
- 4 L07 5 L07 6 L07 ALR LANDSCAPE BUFFER
- 9 L07 150-200mm Ø RIVER ROCK
- 10 L07 DECORATIVE BOULDERS
- 5 L06 GREEN SCREEN/ VINE TRELLIS/ ESPALIERED TREE STRUCTURE

**SITE LANDSCAPE STATISTICS**

**TOTAL SITE AREA WITHIN PROPERTY: 23208 m<sup>2</sup>**  
**TOTAL LANDSCAPE AREA: 11025 m<sup>2</sup> (47%)**

TOTAL BUILDING AREA: Refer Architectural Plans

ONSITE LANDSCAPED AREAS

- ORNAMENTAL & VEGETABLE PLANTING = 2793 m<sup>2</sup>
- GRASSLAND RESTORATION = 5402 m<sup>2</sup>
- AMENITY SPACE (INCLUDES BUILDING & POOL, FIRE/ SEATING AREAS) = 1109 m<sup>2</sup>
- RETAINMENT, UNIT HARDSCAPE & LARGE ROCK MULCH AREAS = 748 m<sup>2</sup>
- ALR SCREENING = APPROX. 903 m<sup>2</sup>

**NOTE:**  
REFER TO L04 FOR PROJECT PLANT KEY.

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**WARNING**  
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**SURVEY INFORMATION**  
Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
APRIL 2022  
urbansystems.ca

Professional Seals

#	Date	Issue / Revision	App
01	2020-12-09	ISSUED FOR DP	S.MCCOY
02	2021-06-17	ISSUED FOR REVIEW	S.MCCOY
03	2022-03-31	ISSUED FOR REVIEW	S.MCCOY
04	2022-04-14	RE-ISSUED FOR DP	S.MCCOY

**Beaverbrook Owls Nest LP**

**URBAN SYSTEMS**

Scale: 1:500

Quality Control by: S. Gull  
Designed by: S. McCoy  
Drawn by: E. Green

**Owls Nest PRESENTATION PLAN**

Sheet Number: L00 of 30  
Project Number: 4265.0001.02  
Drawing Number: L00  
Revision: ---

**NOT FOR CONSTRUCTION**

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### HARDSCAPE & SITE FURNISHINGS LEGEND:

- GRANULAR PATHWAY MATERIAL
- 600X 600 CONCRETE PAVER SLABS IN CLEAN WASHED RIVER ROCK
- GAS FIRE PIT
- PRE-CAST CONCRETE STAIRS
- UNIT SIGNS (BY OTHERS)
- BICYCLE RACKS
- BENCH
- CHAISE LOUNGE
- LOUNGE CHAIR
- WASTE RECEPTACLE
- PLUNGE POOL (BY OTHERS)
- ALR AGRICULTURAL SIGN, LOCATION TO BE DETERMINED
- PERIMETER FENCE
- ALR SCREENING FENCE
- PICKLE BALL COURT FENCING (BY OTHERS)
- ALR SETBACK
- RETAINING WALLS REFER TO CIVIL DWGS.
- L/P (BY OTHERS)
- F/H (BY OTHERS)
- UTILITY BUILDING (BY OTHERS)

**NOTE:**

1. REFER TO CIVIL DWGS. FOR GRADING DESIGN AND UTILITIES.

- #### TREES
- ARMSTRONG RED MAPLE
  - PRAIRIE STATESMAN SWISS STONE PINE
  - PONDEROSA PINE
  - QUAKING ASPEN
  - CLUMP FORM QUAKING ASPEN
  - REGAL PRINCE OAK
  - EXISTING TREES, TO REMAIN TYPICAL

#### SHRUBS / PERENNIALS, GROUNDCOVER & SCREENING :

- ORNAMENTAL, DROUGHT TOLERANT & EDIBLE SHRUB & PERENNIAL PLANTINGS
- ALR LANDSCAPE BUFFER
- NATURALIZED GRASSLAND RESTORATION MIX (REFER TO LANDSCAPE NOTES)
- DROUGHT TOLERANT GRASS SOD
- COMPOSTED BARK MULCH
- 25mm-150mm Ø DECORATIVE RIVER ROCK MULCH
- 150-200mm Ø RIVER ROCK
- LANDSCAPE FEATURE BOULDER
- SCREENING FENCE W/ GREEN SCREEN
- RIP RAP OR BOULDER ROCK, REFER TO CIVIL DWGS.

#### SITE LANDSCAPE STATISTICS

**TOTAL SITE AREA WITHIN PROPERTY:**  
18136 m<sup>2</sup>

**TOTAL LANDSCAPE AREA: 13841 m<sup>2</sup> (76%)**

**TOTAL BUILDING AREA:** REFER ARCHITECTURAL PLANS

**ONSITE LANDSCAPED AREAS**

- ORNAMENTAL, DROUGHT TOLERANT AND EDIBLE SHRUB AND PERENNIAL PLANTING = 4,159 m<sup>2</sup>
- GRASSLAND RESTORATION = 3,267 m<sup>2</sup>
- AMENITY SPACE (INCLUDES COURT, FIRE/ SEATING AREAS, GRANULAR PATHS & AMMENTY STAIRS) = 3,009 m<sup>2</sup>
- RETAINMENT, UNIT HARDSCAPE & LARGE ROCK MULCH AREAS = 2,192 m<sup>2</sup>
- ALR SCREENING = APPROX. 737 m<sup>2</sup>



Attachment C - DP001093 - Rationale

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conclusively confirm the location in the field all underground utilities and structures  
indicated on this drawing, all underground utilities in the area of the proposed work  
and any utilities or structures reasonably apparent from an inspection of the  
proposed work. Urban Systems Ltd. assumes no responsibility for loss or damage  
caused by third party negligence or failure to comply with the above.

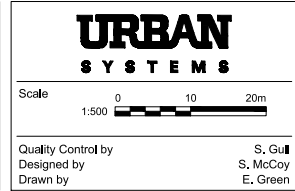
**SURVEY INFORMATION**  
Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**REISSUED FOR TENDER**  
May 29, 2025  
urbansystems.ca

Professional Seals

#	Date	Issue / Revision	App
05	2023-04-11	ISSUED FOR FENCING INFO.	S MCCOY
06	2023-04-18	RE-ISSUED FOR FENCING INFO.	S MCCOY
07	2024-07-12	ISSUED FOR REVIEW	S MCCOY
08	2024-07-19	REISSUED FOR REVIEW	S MCCOY
09	2024-09-25	REISSUED FOR REVIEW	S MCCOY
10	2024-10-15	100% DETAILED DESIGN	S MCCOY
11	2024-11-29	ISSUED FOR TENDER	S MCCOY
12	2025-05-29	REISSUED FOR TENDER	S MCCOY

Scale	1:500
Quality Control by	S, Gu
Designed by	S, McCoy
Drawn by	E, Green



**OWL'S NEST**  
LANDSCAPE PRESENTATION PLAN

Sheet Number	2 of 19
Project Number	4265.0001.03
Drawing Number	L01
Revision	11

**NOT FOR CONSTRUCTION**

**URBAN** SYSTEMS MEMORANDUM

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DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 8 of 10

SUBJECT: Retaining Wall Design Change Rationale

## Appendix B

### Cross Section Comparison of 2022 Application Package & 2024 Design

**ATTENTION**  
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**SURVEY INFORMATION**  
 Prepared by: VECTOR GEOMATICS LTD.  
 Coordinate System: UTM NAD 83  
 Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
 APRIL 2022  
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Professional Seals

- NOTES:**
1. REFER TO DRAWINGS C09 AND C10 FOR STORM SEWER SYSTEM DETAILS.
  2. REFER TO DRAWINGS C13 THROUGH C22 FOR INDIVIDUAL UNIT CROSS SECTIONS.
  3. REFER TO DRAWING C23 THROUGH C28 FOR PATHWAY, STAIR, RETAINING WALL AND BUILDING ROW PROFILES.

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS
2	2022-04-27	RE-ISSUED FOR DEVELOP. PERMIT	TS

Beaverbrook Owls Nest LP

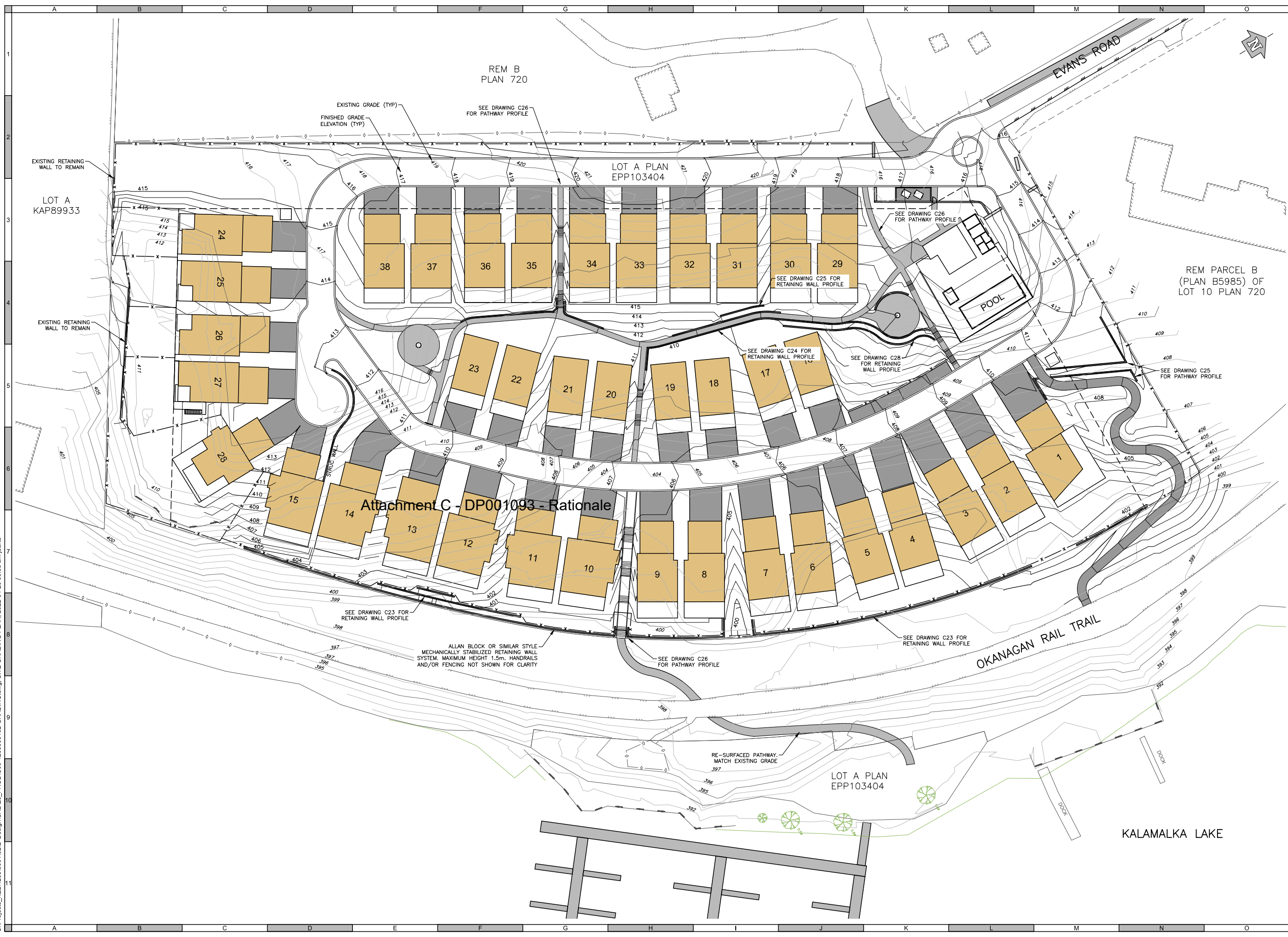


Scale: 1:400  
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Quality Control by: S. Gull  
 Designed by: J. Barta  
 Drawn by: J. Barta

Owls Nest GRADING SITE GRADING PLAN

Sheet Number	12 of 32
Project Number	4265.0001.02
Drawing Number	C12
Revision	2



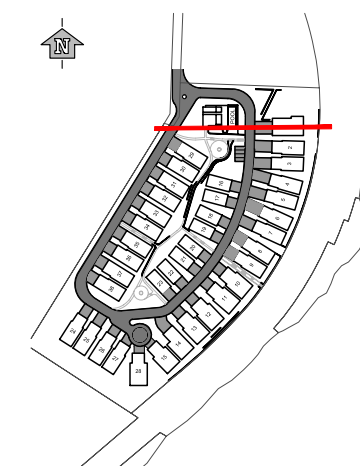
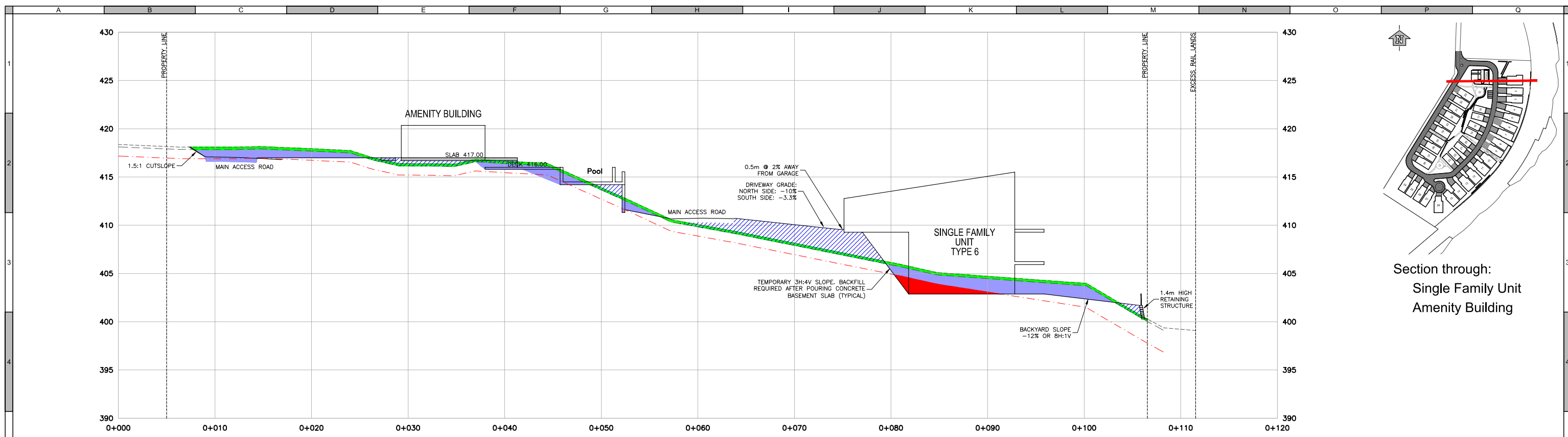
2022 DP

U:\Projects\_KELV4265\0001\02\Design\CAD\20 SITE GRADING PLAN\_2022-04-26 09:03 am\bartar

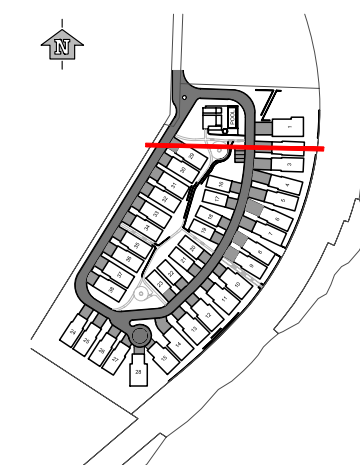
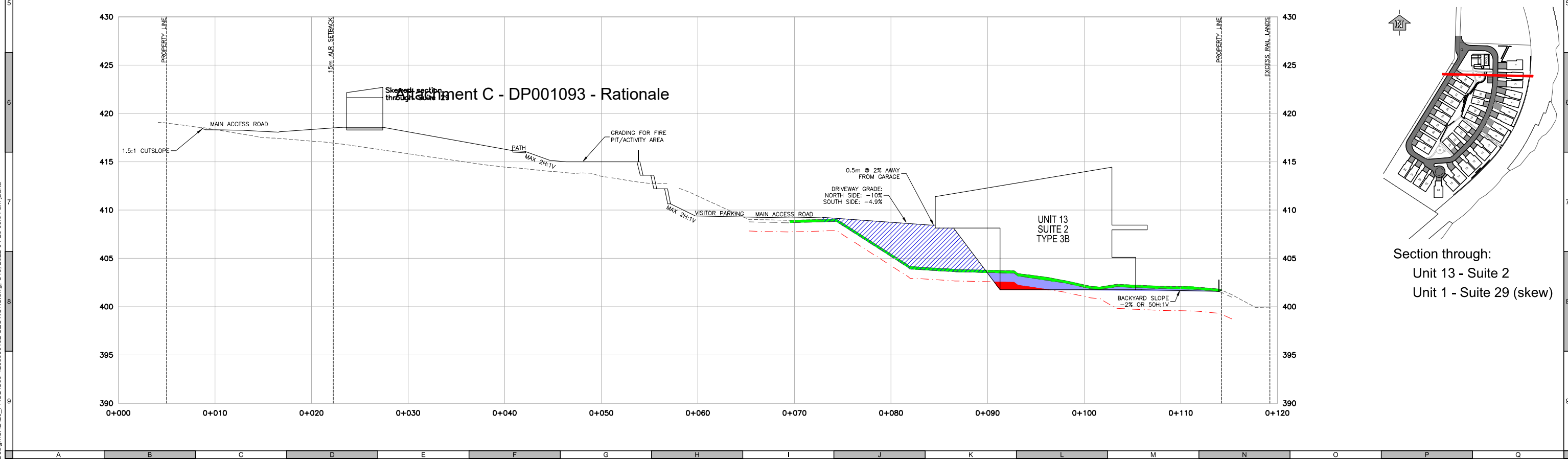
NOT FOR CONSTRUCTION

2022 DP

J:\Projects\_KELV4265\001\02\LD-Design\CAD\201\_PROD\C00-4265000\02-SECTIONS\dwg\_C13\_2022-04-26 09:04 am j.barta



Section through:  
Single Family Unit  
Amenity Building



Section through:  
Unit 13 - Suite 2  
Unit 1 - Suite 29 (skew)

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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
APRIL 2022  
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Professional Seals		Legend	
---	PROPERTY LINE OR SETBACK	▨	EMBANKMENT (FILL)
---	ORIGINAL GROUND LINE (2020)	■	STRIPPING (TOPSOIL/SILTS)
---	ESTIMATED TOPSOIL PROFILE	■	COMMON EXCAVATION (DISPOSE/RE-USE)
---	ESTIMATED BEDROCK PROFILE	■	BEDROCK

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS

Beaverbrook Owls Nest LP

**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: S. Gu  
Designed by: J. Barta  
Drawn by: J. Barta

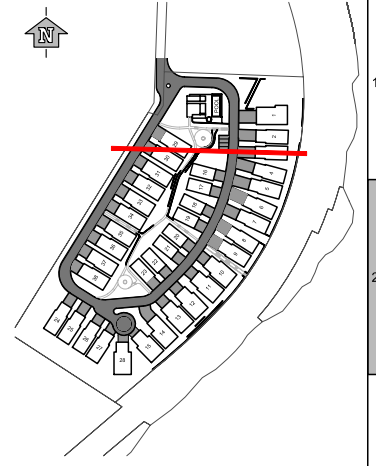
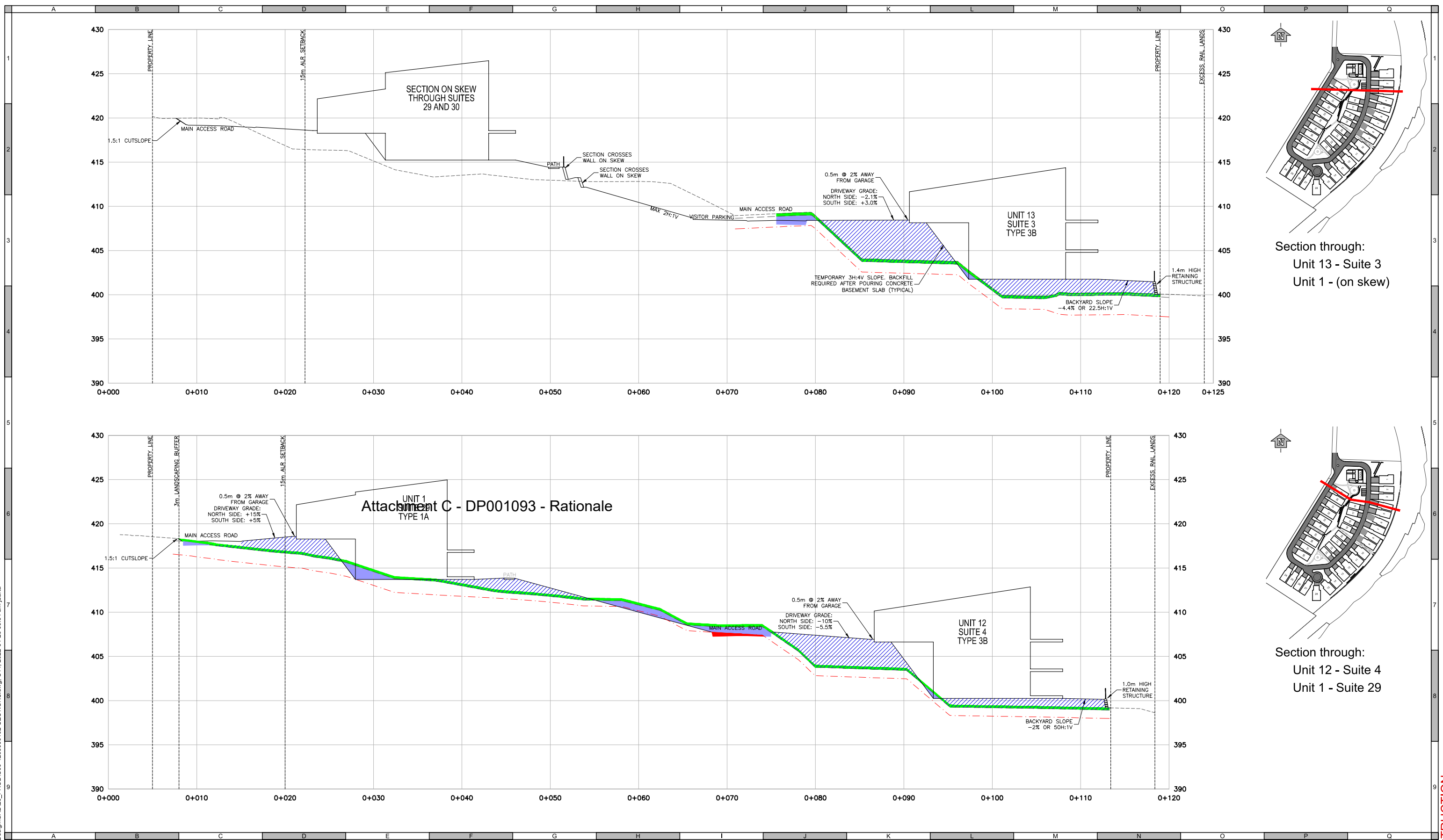
Owls Nest CROSS SECTIONS PRELIMINARY LOT GRADING	
Sheet Number	13 of 32
Project Number	4265.0001.02
Drawing Number	C13
Revision	1

ANSI expand D (34.00 x 22.00 Inches) 25mm

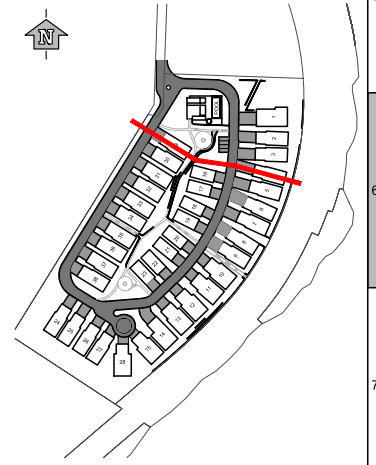
NOT FOR CONSTRUCTION

2022 DP

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Section through:  
Unit 13 - Suite 3  
Unit 1 - (on skew)



Section through:  
Unit 12 - Suite 4  
Unit 1 - Suite 29

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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
APRIL 2022  
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Professional Seals		Legend	
---	PROPERTY LINE OR SETBACK		EMBANKMENT (FILL)
---	ORIGINAL GROUND LINE (2020)		STRIPPING (TOPSOIL/SILTS)
---	ESTIMATED TOPSOIL PROFILE		COMMON EXCAVATION (DISPOSE/RE-USE)
---	ESTIMATED BEDROCK PROFILE		BEDROCK

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS

**Beaverbrook Owls Nest LP**

**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: S. Gu  
Designed by: J. Barta  
Drawn by: J. Barta

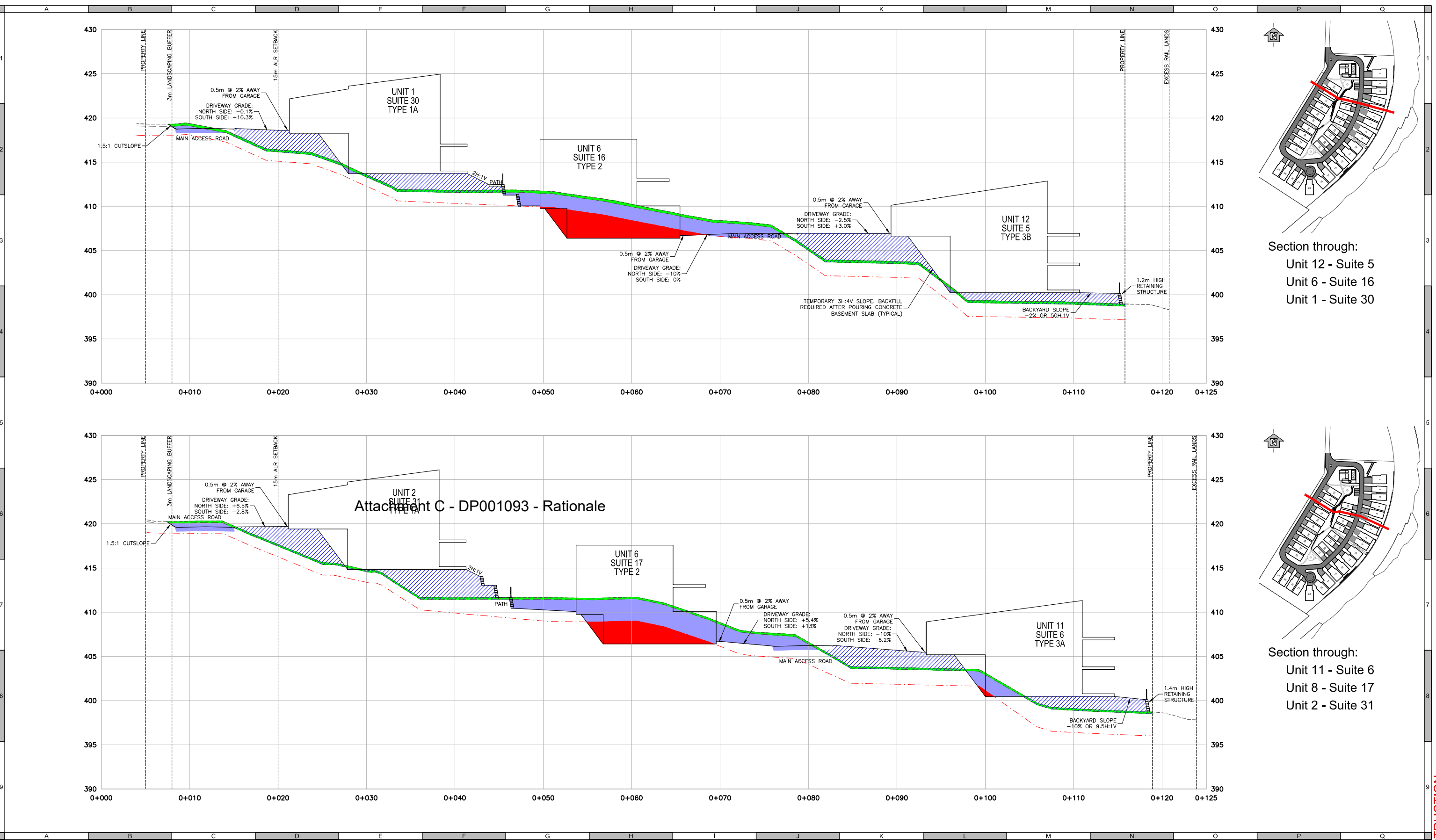
Owls Nest CROSS SECTIONS PRELIMINARY LOT GRADING			
Sheet Number	14 of 32	Drawing Number	Revision
4265.0001.02	C14	1	

ANSI expand D (34.00 x 22.00 Inches) 25mm

NOT FOR CONSTRUCTION

2022 DP

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Attachment C - DP001093 - Rationale

**ATTENTION**  
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**SURVEY INFORMATION**  
 Prepared by: VECTOR GEOMATICS LTD.  
 Coordinate System: UTM NAD 83  
 Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
 APRIL 2022  
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Professional Seals		Legend	
---	PROPERTY LINE OR SETBACK		EMBANKMENT (FILL)
---	ORIGINAL GROUND LINE (2020)		STRIPPING (TOPSOIL/SILTS)
---	ESTIMATED TOPSOIL PROFILE		COMMON EXCAVATION (DISPOSE/RE-USE)
---	ESTIMATED BEDROCK PROFILE		BEDROCK

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS

**Beaverbrook Owls Nest LP**

**URBAN SYSTEMS**

Scale: 1:200

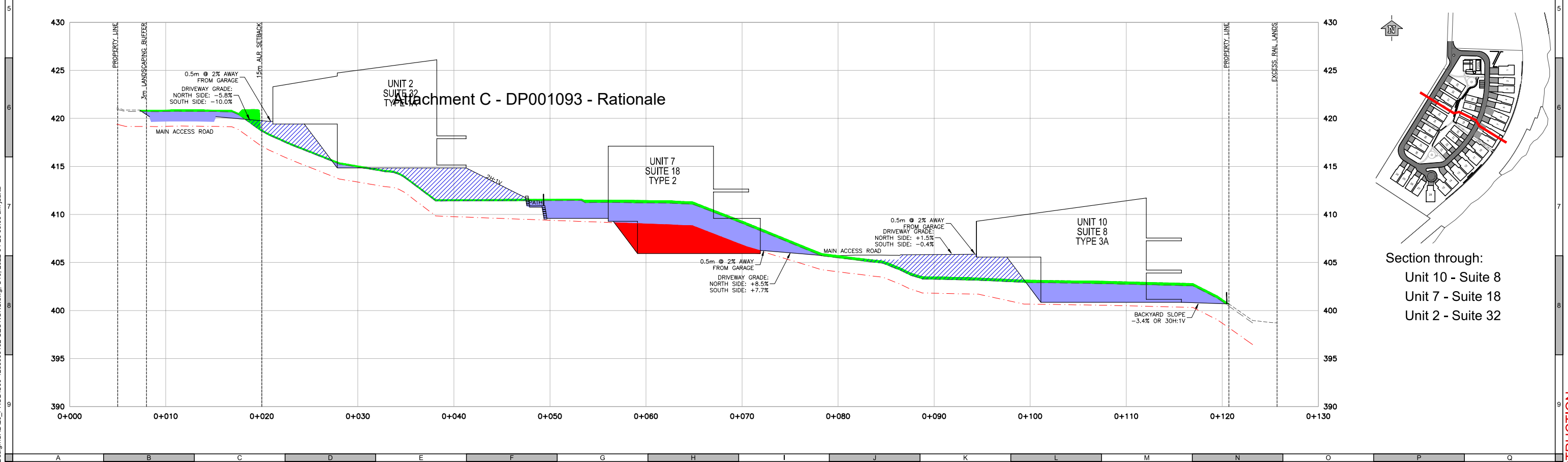
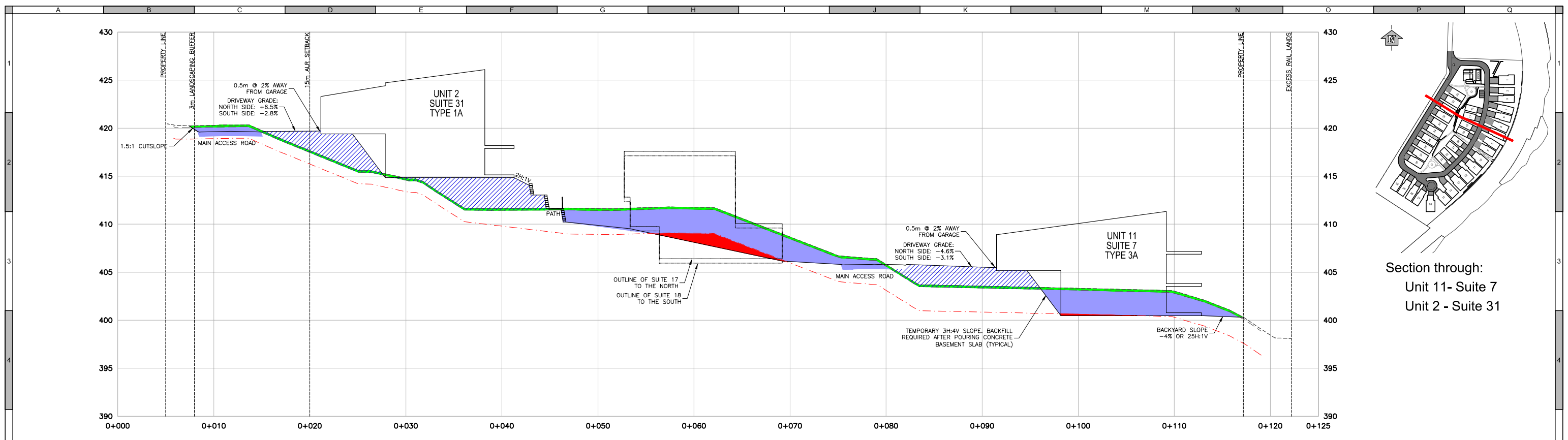
Quality Control by: S. Gull  
 Designed by: J. Barta  
 Drawn by: J. Barta

Owls Nest CROSS SECTIONS PRELIMINARY LOT GRADING	
Sheet Number	15 of 32
Project Number	4265.0001.02
Drawing Number	C15
Revision	1

NOT FOR CONSTRUCTION

2022 DP

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Attachment C - DP001093 - Rationale

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**SURVEY INFORMATION**  
Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
APRIL 2022  
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Professional Seals		Legend	
---	PROPERTY LINE OR SETBACK	[Hatched]	EMBANKMENT (FILL)
---	ORIGINAL GROUND LINE (2020)	[Green]	STRIPPING (TOPSOIL/SILTS)
---	ESTIMATED TOPSOIL PROFILE	[Blue]	COMMON EXCAVATION (DISPOSE/RE-USE)
---	ESTIMATED BEDROCK PROFILE	[Red]	BEDROCK

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS

Beaverbrook Owls Nest LP

**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: S. Gull  
Designed by: J. Barta  
Drawn by: J. Barta

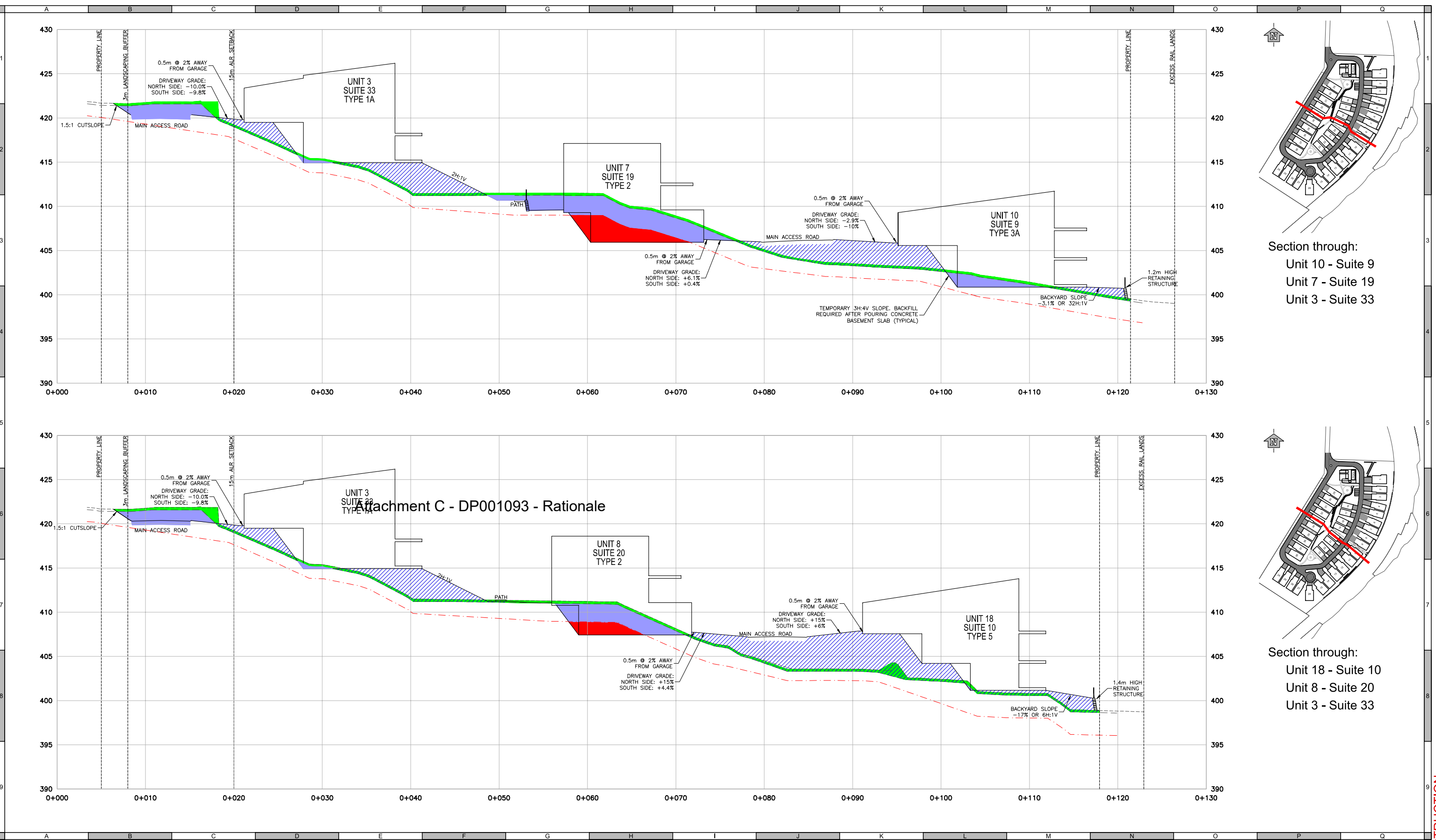
Owls Nest CROSS SECTIONS PRELIMINARY LOT GRADING	
Sheet Number	16 of 32
Project Number	4265.0001.02
Drawing Number	C16
Revision	1

ANSI expand D (34.00 x 22.00 Inches) 25mm

NOT FOR CONSTRUCTION

2022 DP

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Attachment C - DP001093 - Rationale

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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

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APRIL 2022  
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Professional Seals

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS

**Legend**

- PROPERTY LINE OR SETBACK
- ORIGINAL GROUND LINE (2020)
- ESTIMATED TOPSOIL PROFILE
- ESTIMATED BEDROCK PROFILE
- EMBANKMENT (FILL)
- STRIPPING (TOPSOIL/SILTS)
- COMMON EXCAVATION (DISPOSE/RE-USE)
- BEDROCK

Beaverbrook Owls Nest LP

Scale: 1:200

**URBAN SYSTEMS**

Quality Control by: S. Gull  
Designed by: J. Barta  
Drawn by: J. Barta

Owls Nest  
CROSS SECTIONS  
PRELIMINARY LOT GRADING

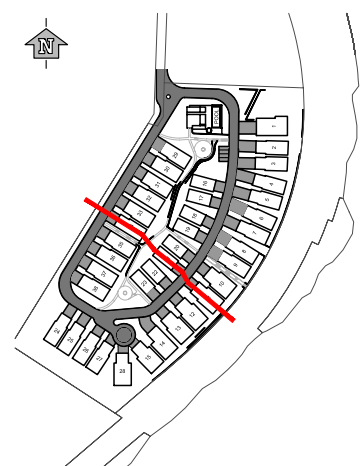
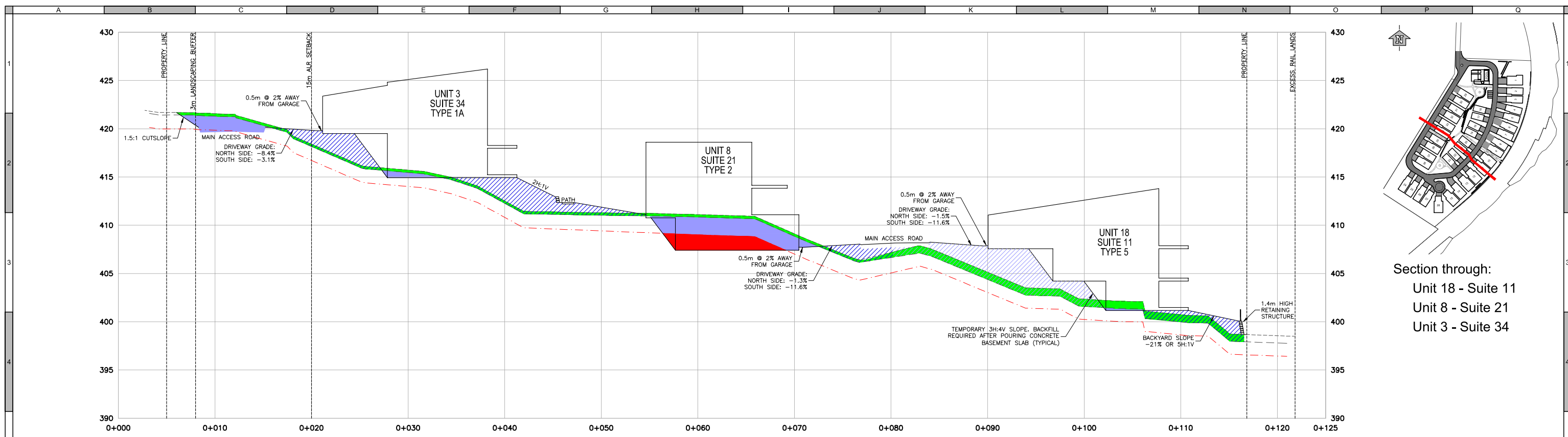
Sheet Number: 17 of 32  
Project Number: 4265.0001.02  
Drawing Number: C17  
Revision: 1

ANSI expand D (34.00 x 22.00 Inches) 25mm

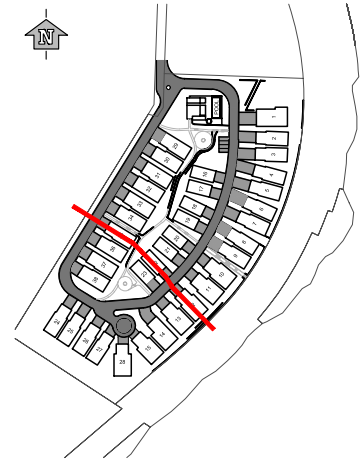
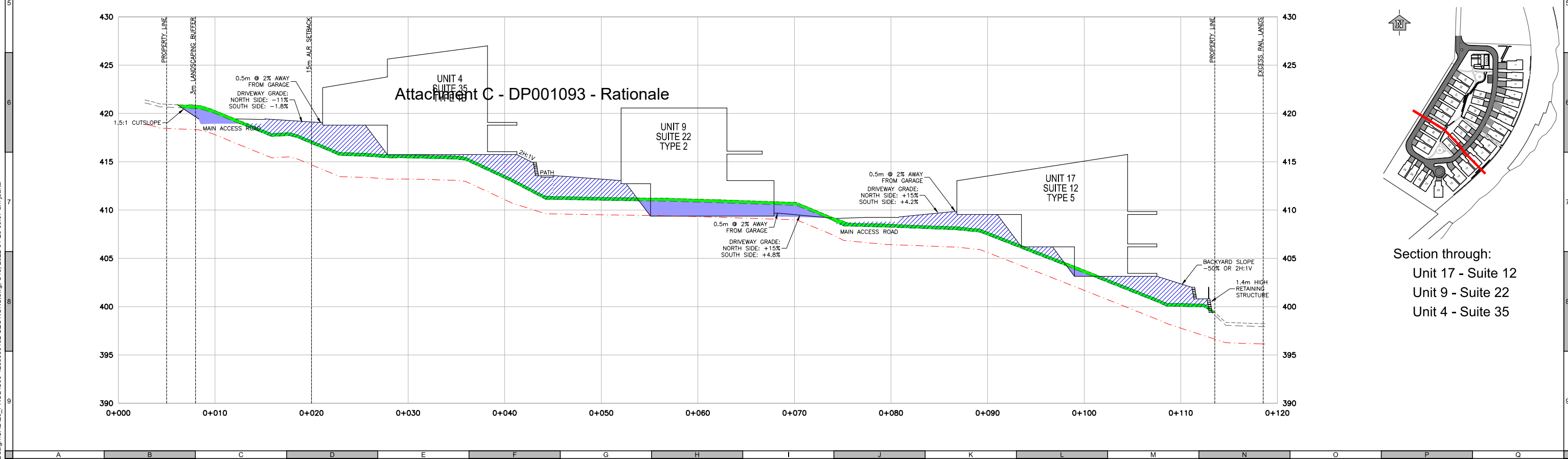
NOT FOR CONSTRUCTION

2022 DP

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Section through:  
Unit 18 - Suite 11  
Unit 8 - Suite 21  
Unit 3 - Suite 34



Section through:  
Unit 17 - Suite 12  
Unit 9 - Suite 22  
Unit 4 - Suite 35

Attachment C - DP001093 - Rationale

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Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
APRIL 2022  
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Professional Seals		Legend	
---	PROPERTY LINE OR SETBACK		EMBANKMENT (FILL)
---	ORIGINAL GROUND LINE (2020)		STRIPPING (TOPSOIL/SILTS)
---	ESTIMATED TOPSOIL PROFILE		COMMON EXCAVATION (DISPOSE/RE-USE)
---	ESTIMATED BEDROCK PROFILE		BEDROCK

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS

Beaverbrook Owls Nest LP

**URBAN SYSTEMS**

Scale: 1:200

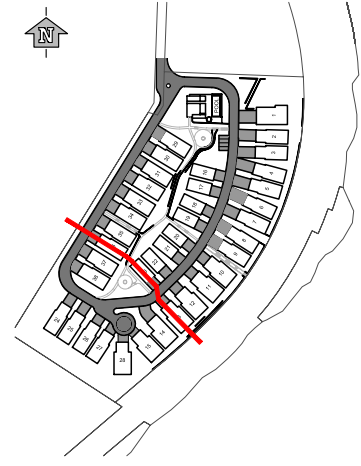
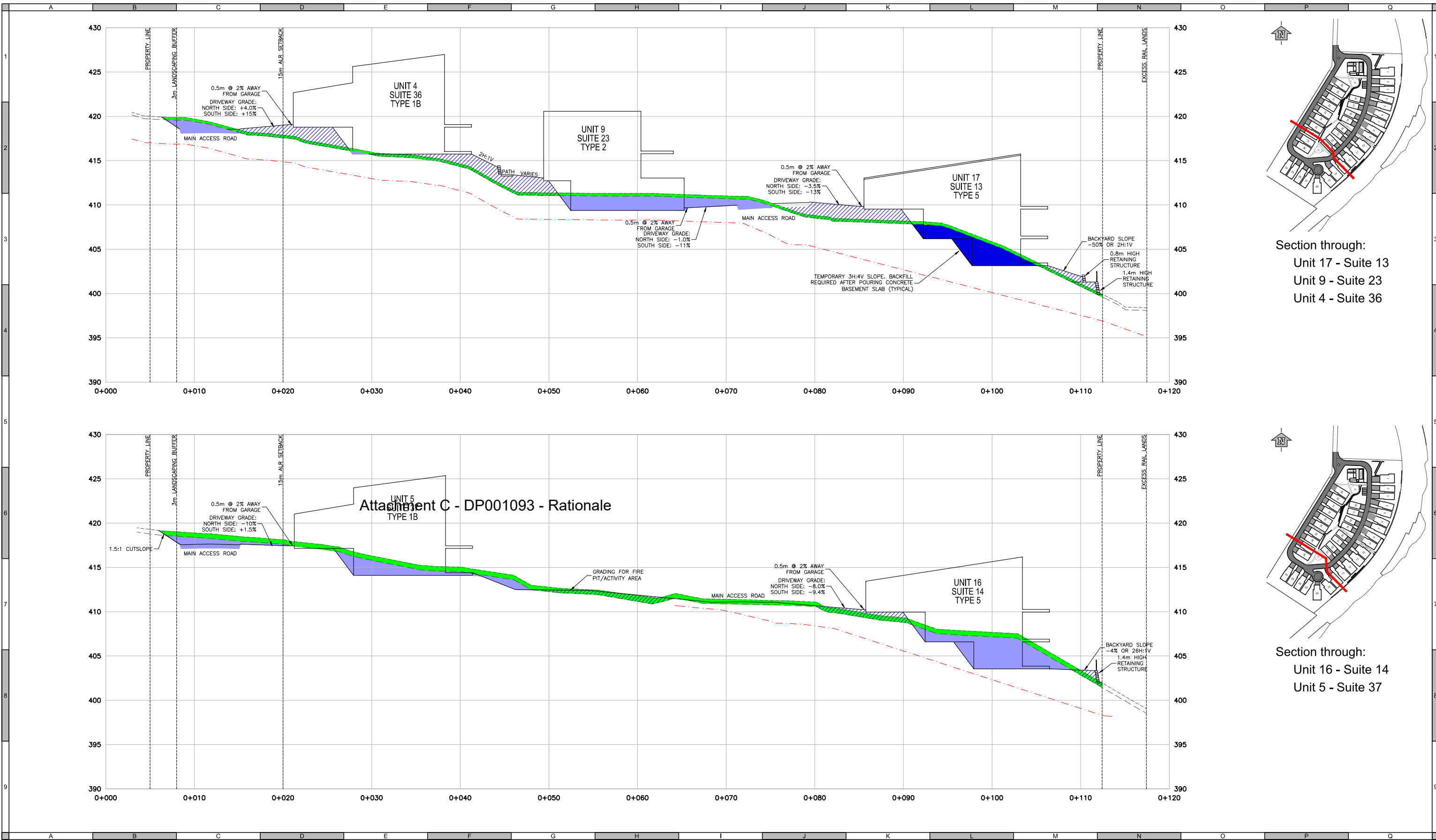
Quality Control by: S. Gu  
Designed by: J. Barta  
Drawn by: J. Barta

Owls Nest CROSS SECTIONS PRELIMINARY LOT GRADING			
Sheet Number	18 of 32		
Project Number	4265.0001.02	Drawing Number	C18
Revision	1		

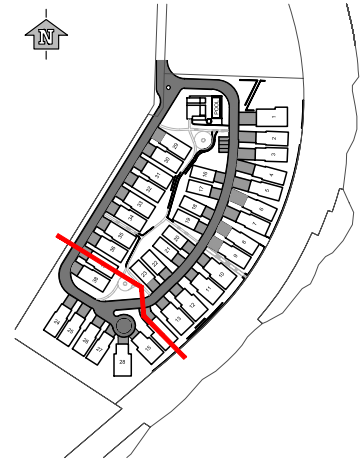
NOT FOR CONSTRUCTION

2022 DP

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Section through:  
Unit 17 - Suite 13  
Unit 9 - Suite 23  
Unit 4 - Suite 36



Section through:  
Unit 16 - Suite 14  
Unit 5 - Suite 37

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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
APRIL 2022  
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Professional Seals		Legend	
---	PROPERTY LINE OR SETBACK		EMBANKMENT (FILL)
---	ORIGINAL GROUND LINE (2020)		STRIPPING (TOPSOIL/SILTS)
---	ESTIMATED TOPSOIL PROFILE		COMMON EXCAVATION (DISPOSE/RE-USE)
---	ESTIMATED BEDROCK PROFILE		BEDROCK

#	Date	Issue / Revision	App
1	2020-12-08	ISSUED FOR DEVELOPMENT PERMIT	TS

**Beaverbrook Owls Nest LP**

**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: S. Gu  
Designed by: J. Barta  
Drawn by: J. Barta

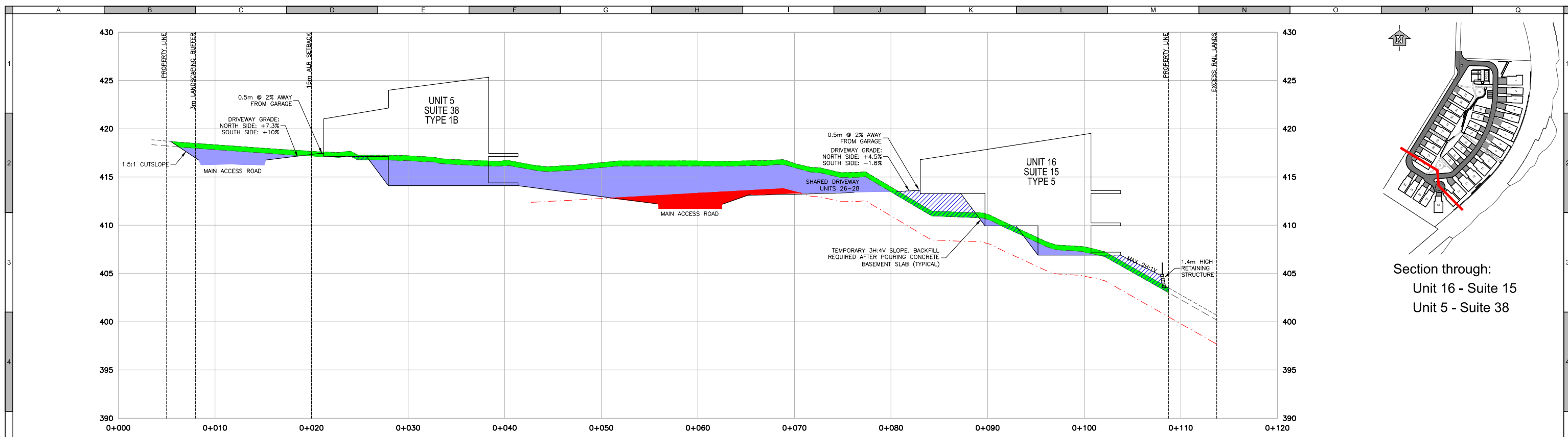
Owls Nest CROSS SECTIONS PRELIMINARY LOT GRADING			
Sheet Number	19 of 32	Drawing Number	C19
Project Number	4265.0001.02	Revision	1

ANSI expand D (34.00 x 22.00 Inches) 25mm

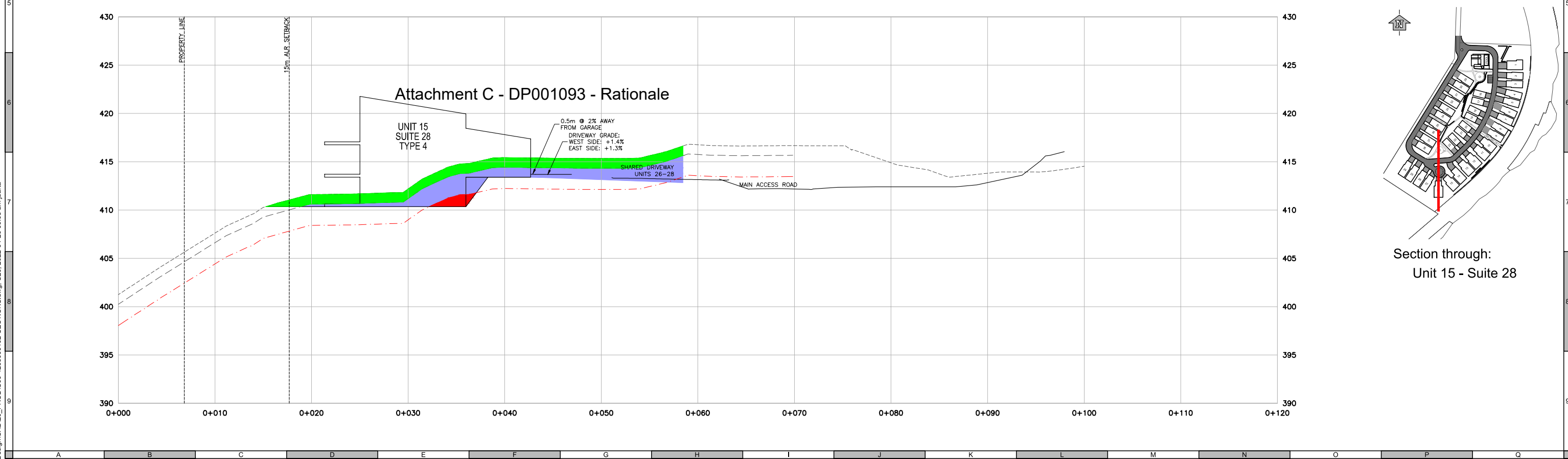
NOT FOR CONSTRUCTION

2022 DP

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Section through:  
Unit 16 - Suite 15  
Unit 5 - Suite 38



Section through:  
Unit 15 - Suite 28

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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: JUNE 17, 2020

**RE-ISSUED FOR DEVELOPMENT PERMIT**  
APRIL 2022  
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Professional Seals		Legend	
---	PROPERTY LINE OR SETBACK		EMBANKMENT (FILL)
---	ORIGINAL GROUND LINE (2020)		STRIPPING (TOPSOIL/SILTS)
---	ESTIMATED TOPSOIL PROFILE		COMMON EXCAVATION (DISPOSE/RE-USE)
---	ESTIMATED BEDROCK PROFILE		BEDROCK

#	Date	Issue / Revision	App
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Beaverbrook Owls Nest LP

**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: S. Gu  
Designed by: J. Barta  
Drawn by: J. Barta

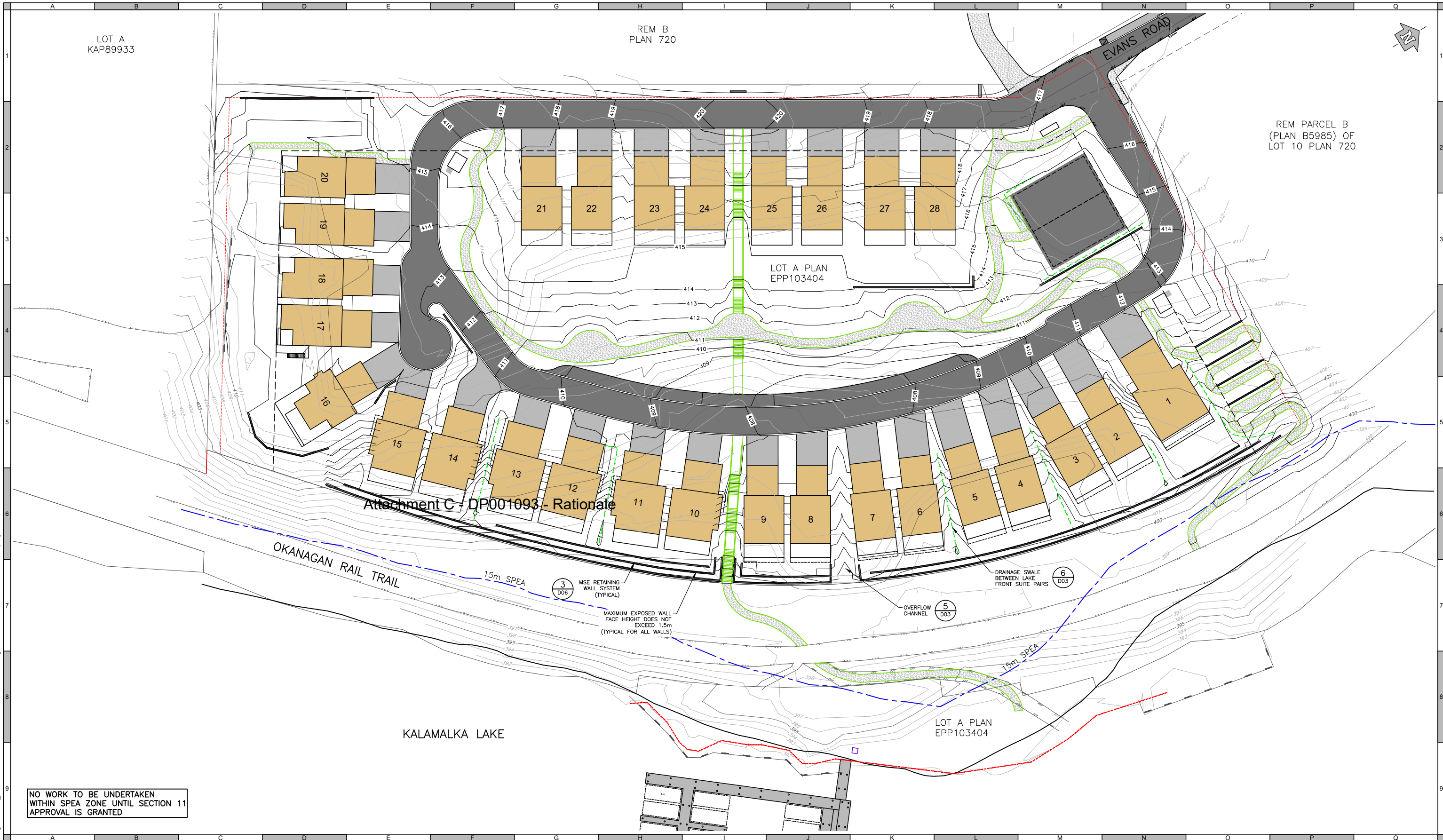
Owls Nest CROSS SECTIONS PRELIMINARY LOT GRADING	
Sheet Number	20 of 32
Project Number	Drawing Number
4265.0001.02	C20
Revision	1

ANSI expand D (34.00 x 22.00 Inches) 25mm

NOT FOR CONSTRUCTION

2024 Re-Design

U:\Projects\_KEL\4265\001\03\10-Design\CAD\20 -PROJ\Civil\Onsite\COO-4265\000\03-GRADING.dwg; PLOTTING PLAN, 2025-06-16 04:13 pm jbarra



NO WORK TO BE UNDERTAKEN WITHIN SPEA ZONE UNTIL SECTION 11 APPROVAL IS GRANTED

Attachment C - DP001093 - Rationale

**ATTENTION**  
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**SURVEY INFORMATION**  
 Prepared by: VECTOR GEOMATICS LTD.  
 Coordinate System: UTM NAD 83  
 Compilation Date: 2022-09-26

**ISSUED FOR CONSTRUCTION**  
 MAY 12, 2025  
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Professional Seals

#	Date	Issue / Revision	App
1	2024-09-06	ISSUED FOR TENDER	TS
2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



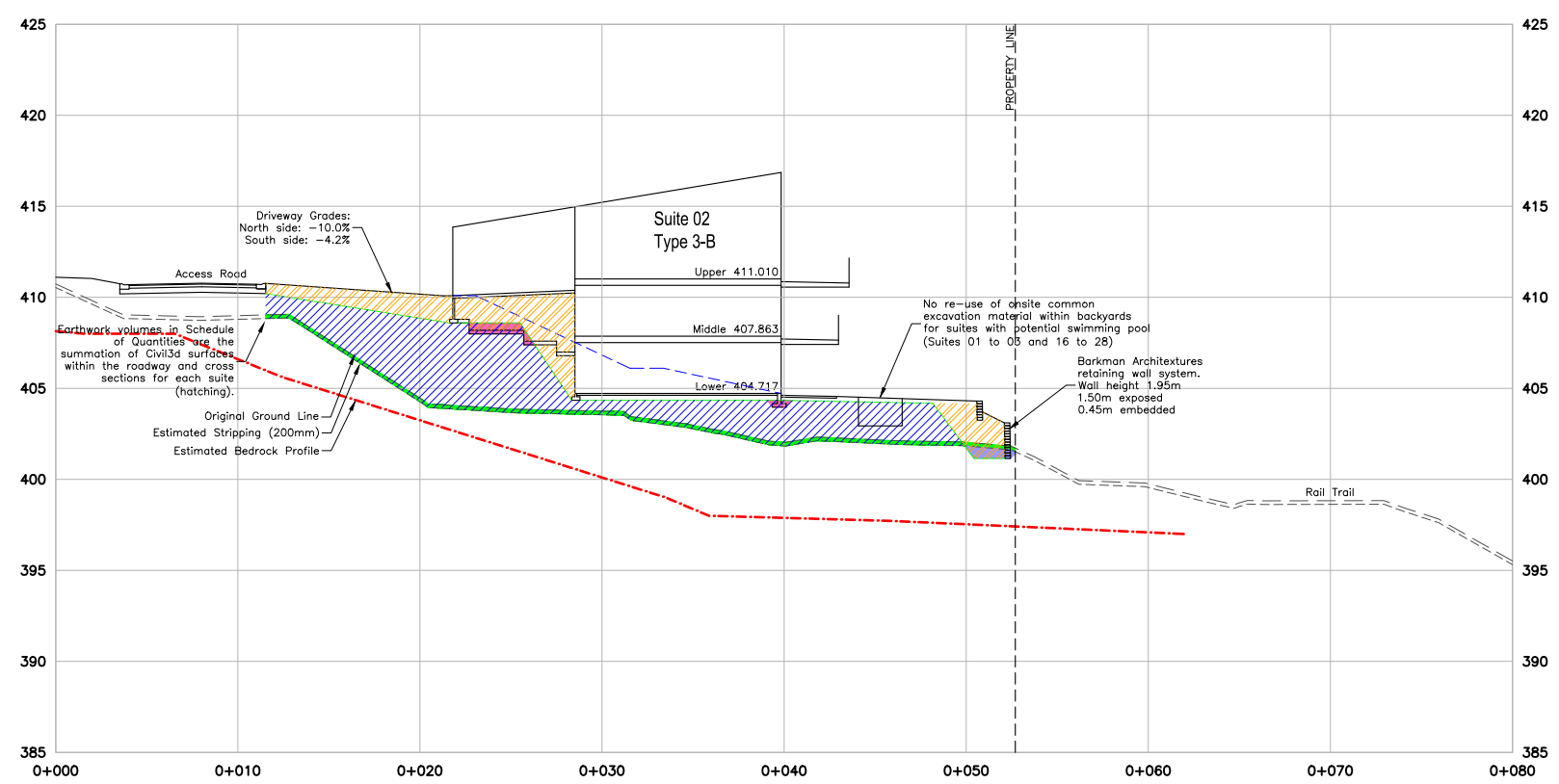
**URBAN SYSTEMS**

Scale: 1:400

Quality Control by: TS  
 Designed by: JB  
 Drawn by: JB

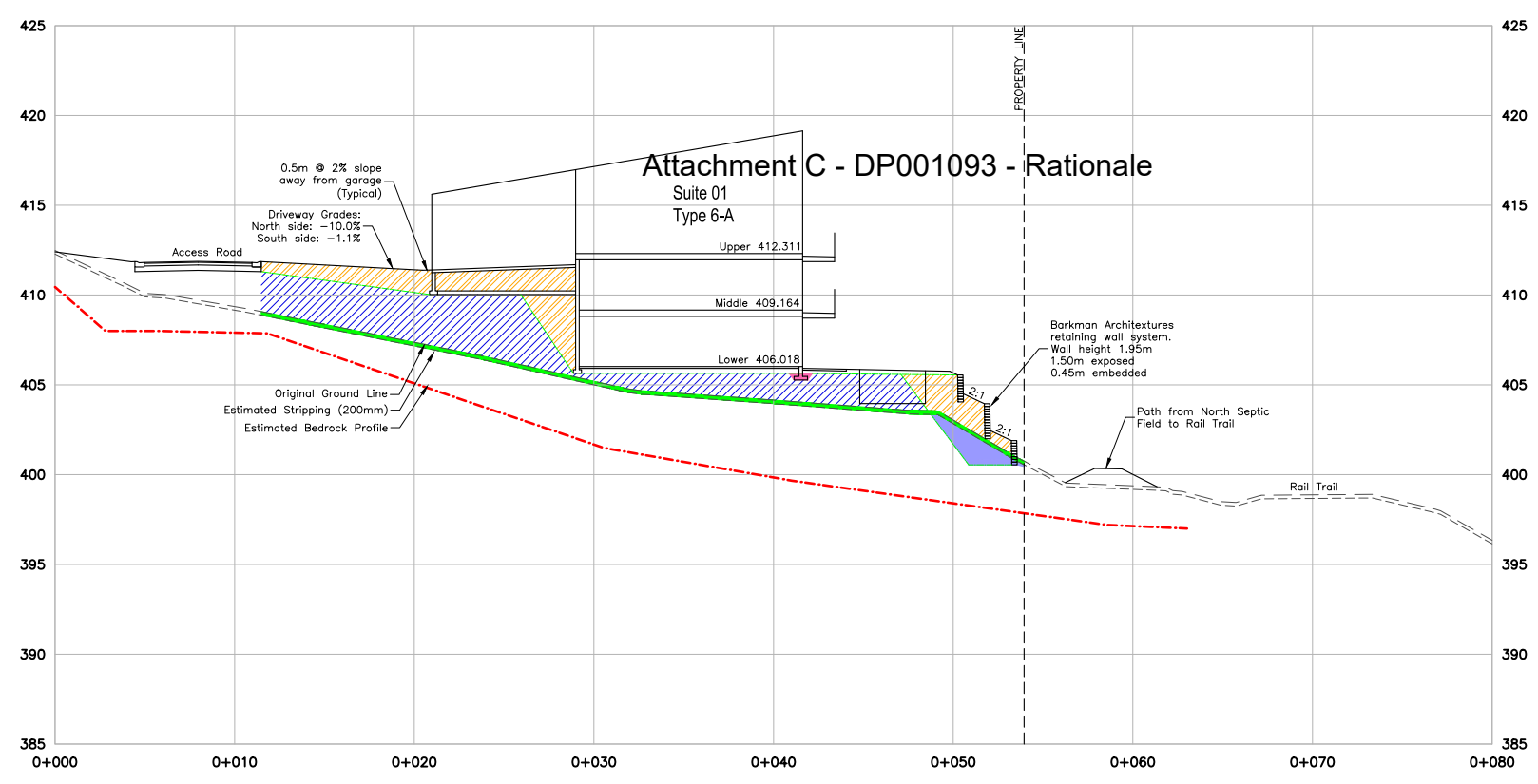
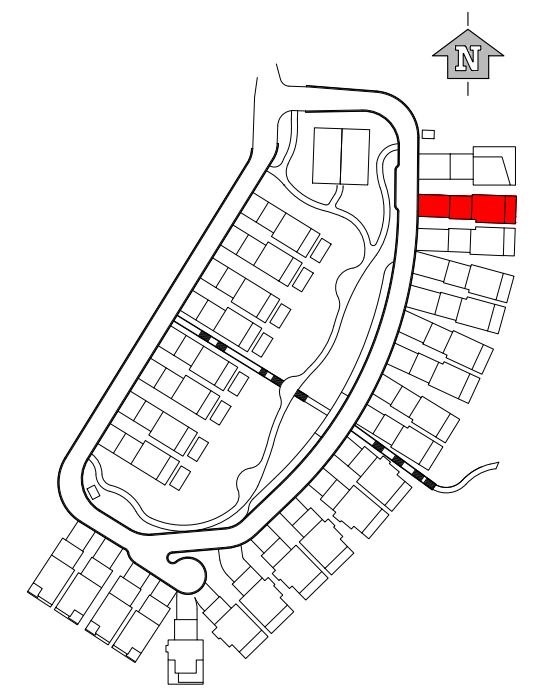
**OWL'S NEST DEVELOPMENT ON-SITE DESIGN SITE GRADING PLAN**

Sheet Number	18 of 52
Project Number	4265.0001.03
Drawing Number	C17
Revision	2



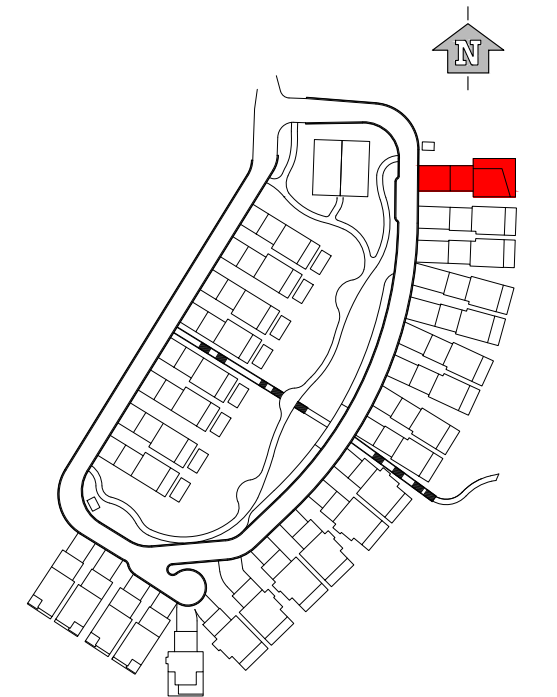
Sept 05, 2024  
Earthworks end areas:

Stripping:	8.2	
Rock:	0.0	
Rough grading - cut:	1.4	
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Detail grading - cut:	2.4	
Detail grading - fill:	35.1	



Sept 05, 2024  
Earthworks end areas:

Stripping:	8.5	
Rock:	0.0	
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Rough grading - fill:	79.3	
Detail grading - cut:	0.4	
Detail grading - fill:	39.3	



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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: 2022-09-26

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#	Date	Issue / Revision	App
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2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



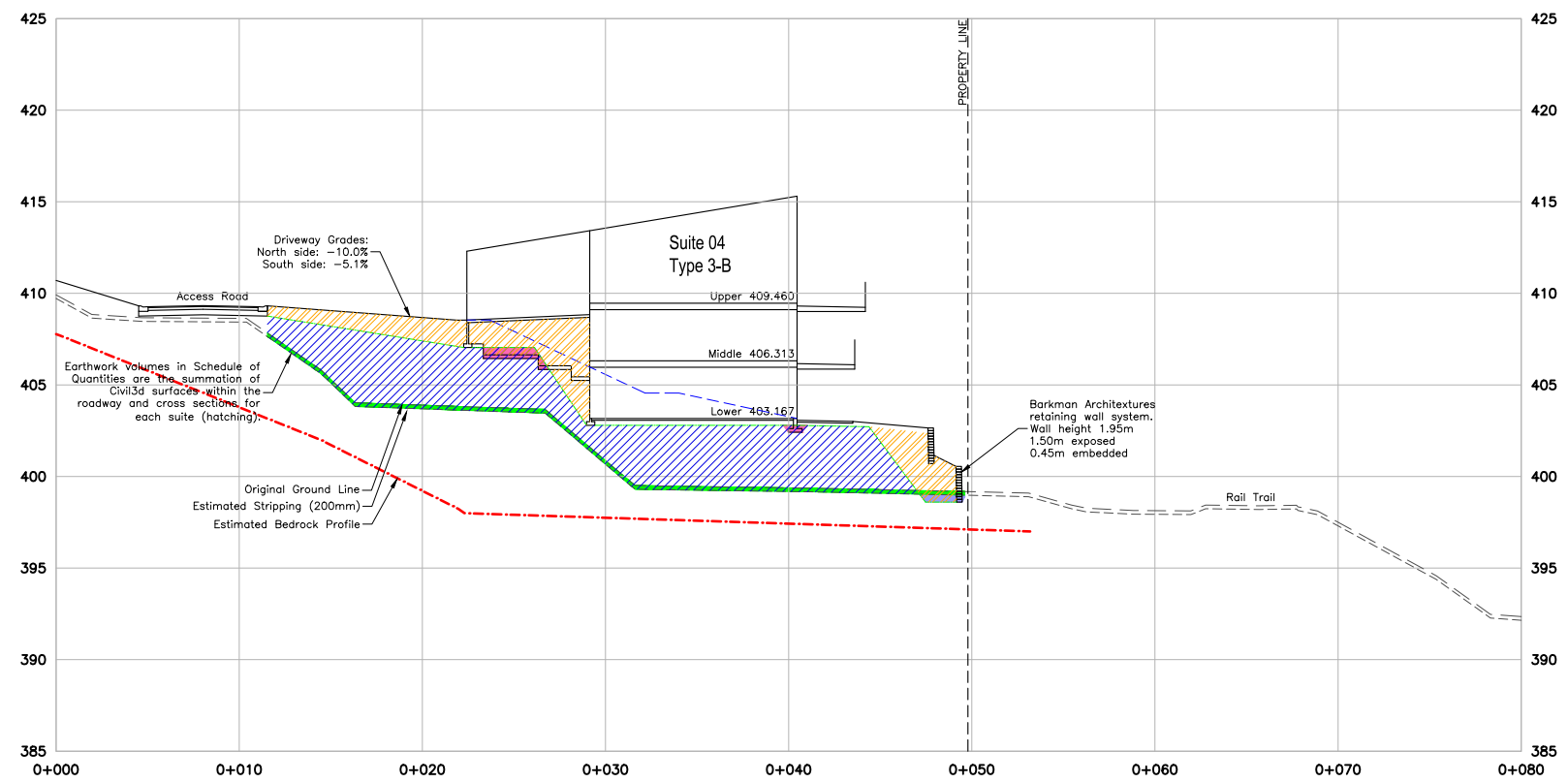
**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: TS  
Designed by: JB  
Drawn by: JB

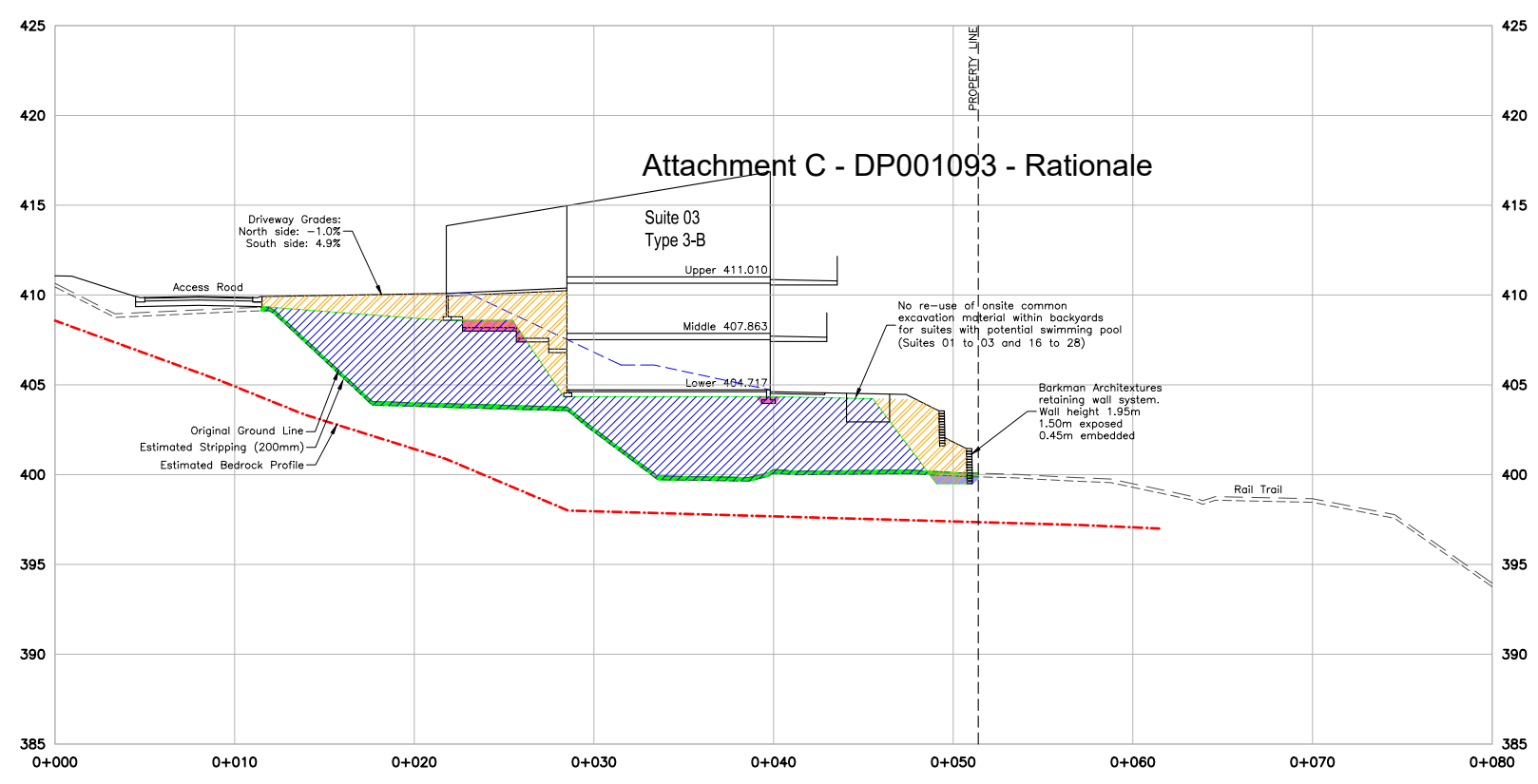
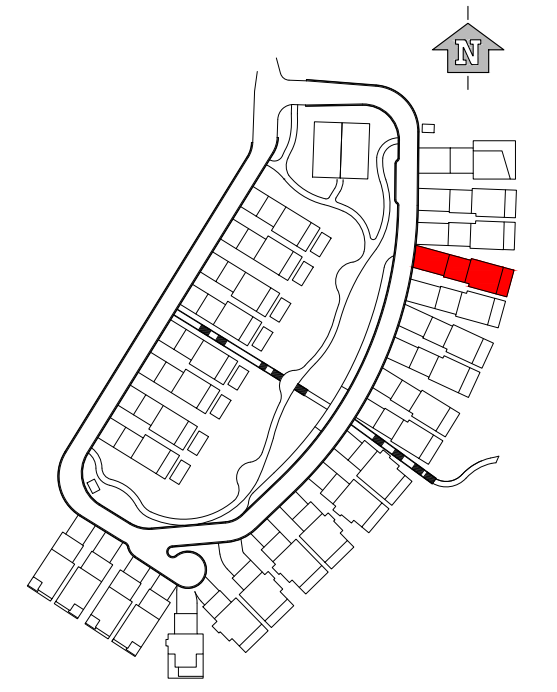
**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
BUILDING CROSS SECTIONS SUITES 01 AND 02

Sheet Number: 30 of 52  
Project Number: 4265.0001.03  
Drawing Number: X01  
Revision: 2



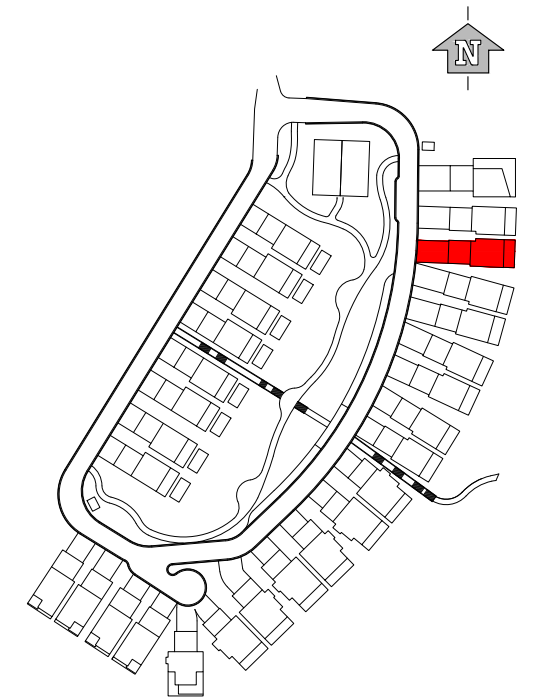
Sept 05, 2024  
**Earthworks end areas:**

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Rough grading - cut:	0.9	
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Detail grading - cut:	2.4	
Detail grading - fill:	38.2	



Sept 05, 2024  
**Earthworks end areas:**

Stripping:	8.0	
Rock:	0.0	
Rough grading - cut:	1.0	
Rough grading - fill:	135.2	
Detail grading - cut:	2.4	
Detail grading - fill:	39.9	



### Attachment C - DP001093 - Rationale

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#	Date	Issue / Revision	App
1	2024-09-06	ISSUED FOR TENDER	TS
2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



**URBAN SYSTEMS**

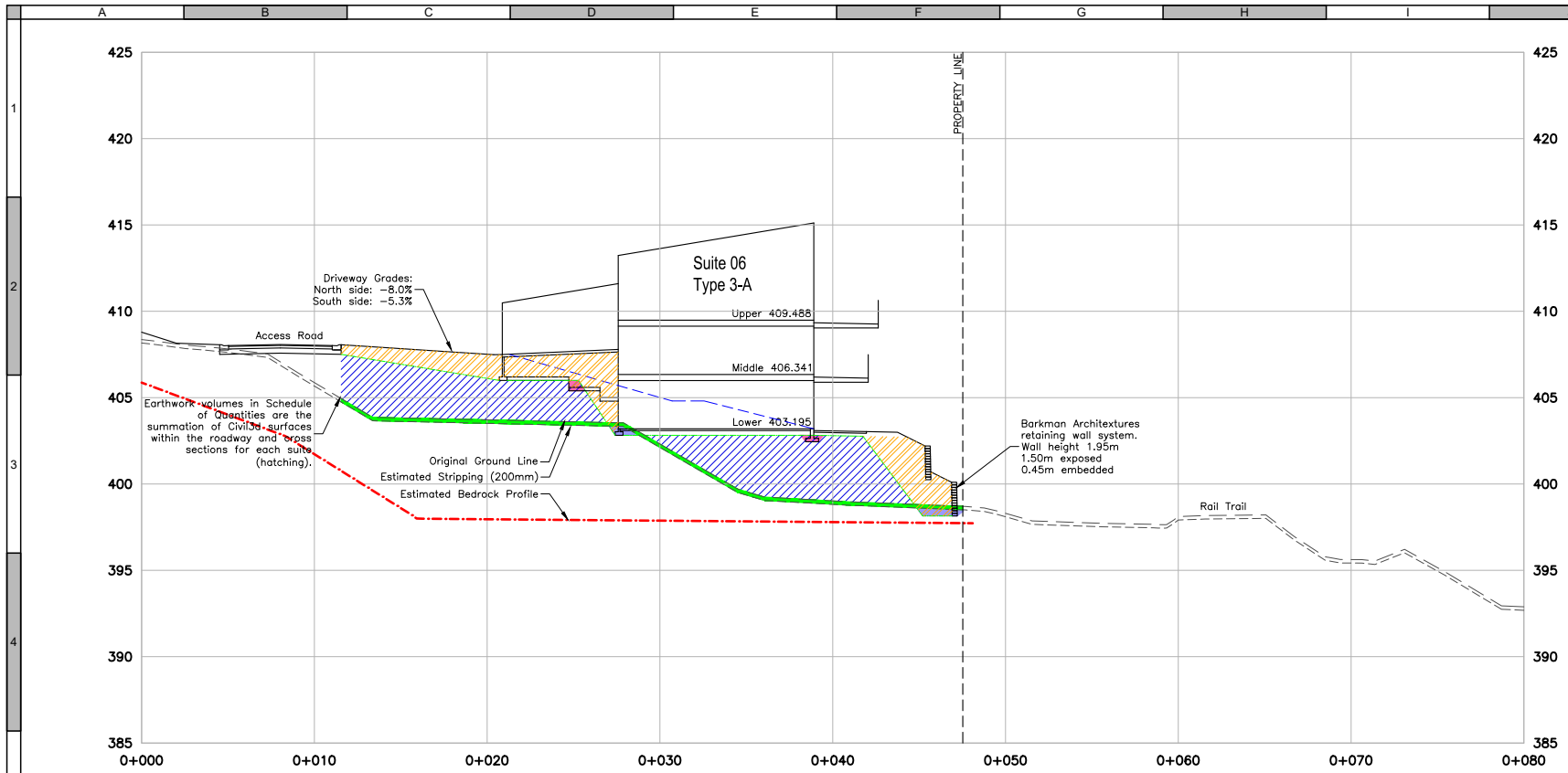
Scale: 1:200

Quality Control by: TS  
Designed by: JB  
Drawn by: JB

**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
BUILDING CROSS SECTIONS SUITES 03 AND 04

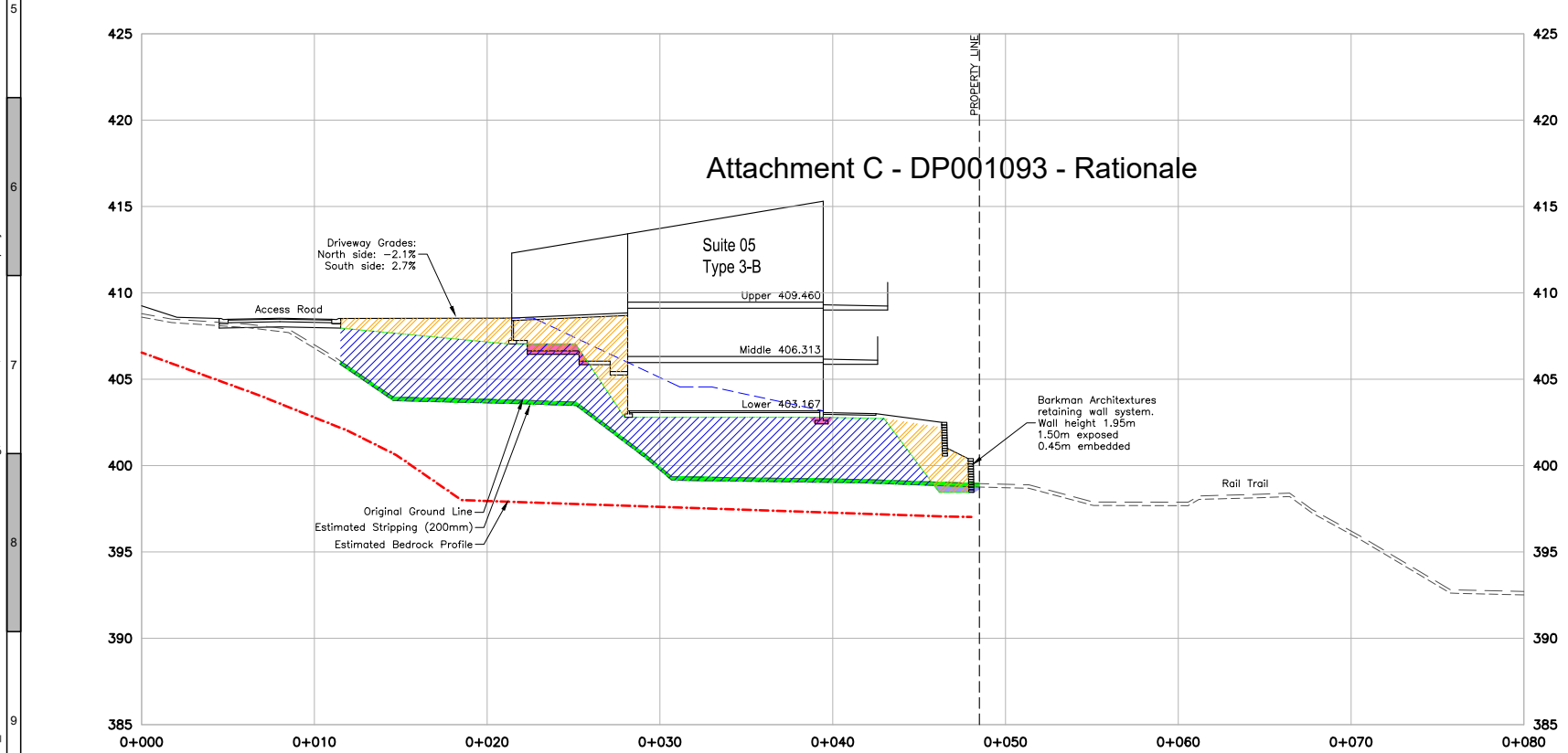
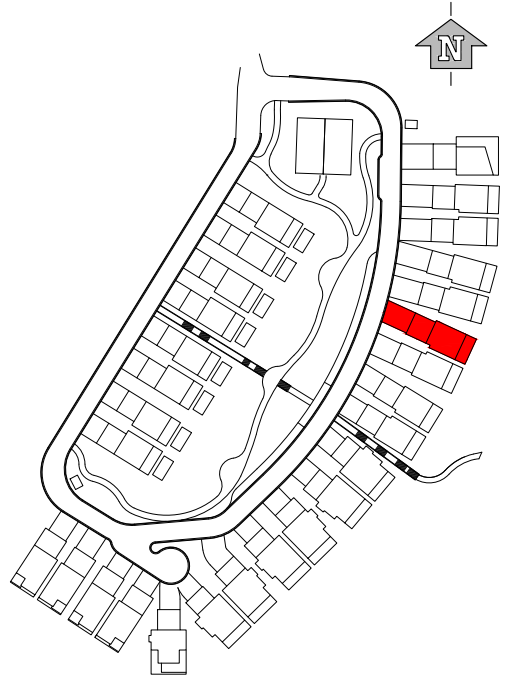
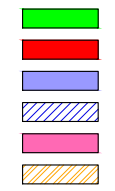
Sheet Number	31 of 52
Project Number	4265.0001.03
Drawing Number	X02
Revision	2

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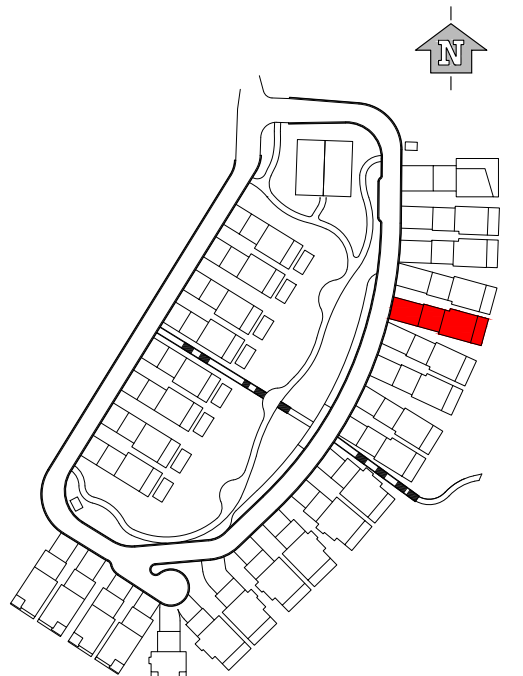
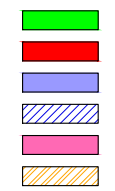
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Earthworks end areas:

Stripping:	7.2
Rock:	0.0
Rough grading - cut:	1.5
Rough grading - fill:	85.5
Detail grading - cut:	0.9
Detail grading - fill:	34.1



Sept 05, 2024  
Earthworks end areas:

Stripping:	7.4
Rock:	0.0
Rough grading - cut:	0.8
Rough grading - fill:	112.4
Detail grading - cut:	2.4
Detail grading - fill:	37.6



Attachment C - DP001093 - Rationale

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Compilation Date: 2022-09-26

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#	Date	Issue / Revision	App
1	2024-09-06	ISSUED FOR TENDER	TS
2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



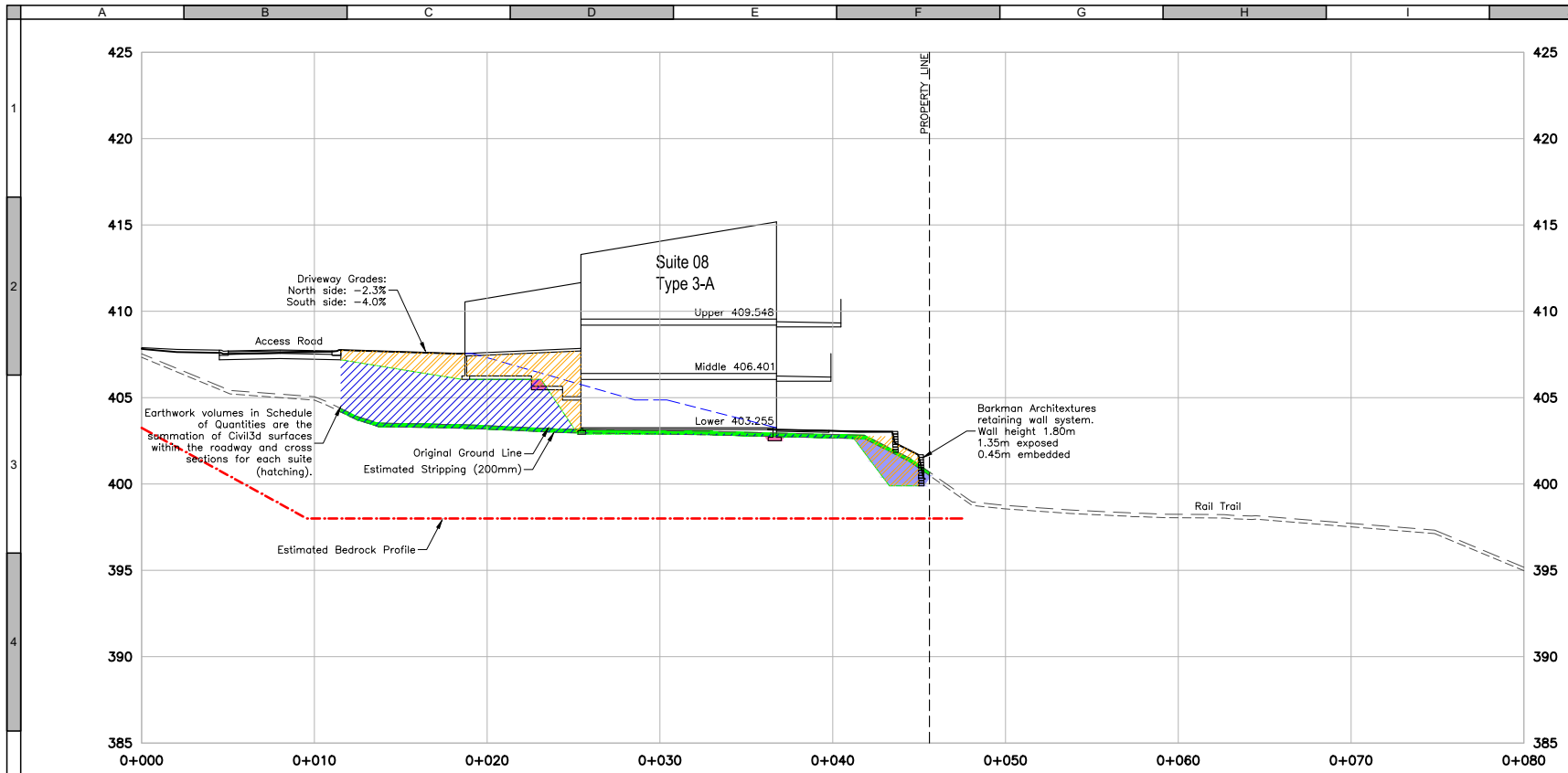
**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: TS  
Designed by: JB  
Drawn by: JB

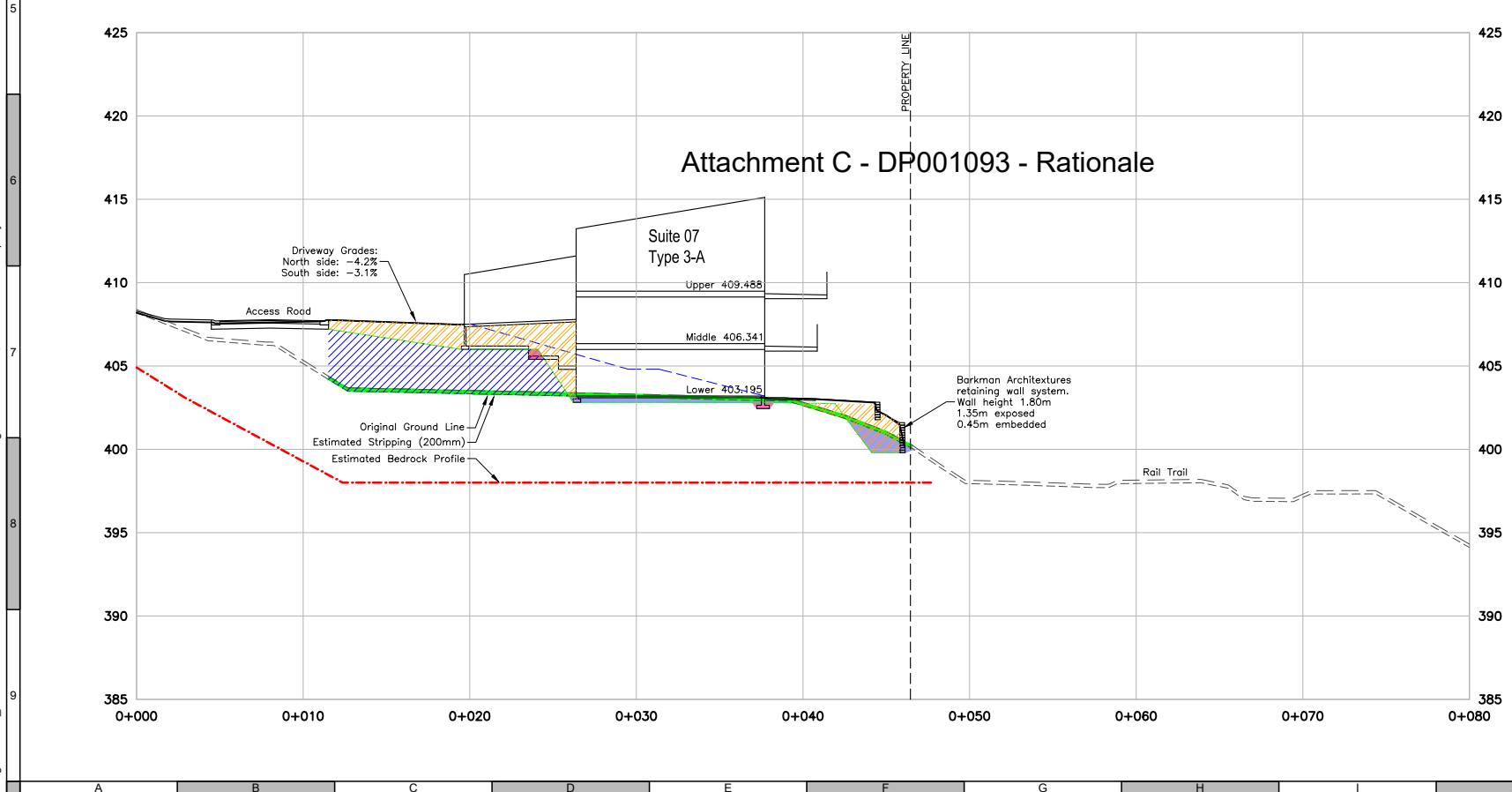
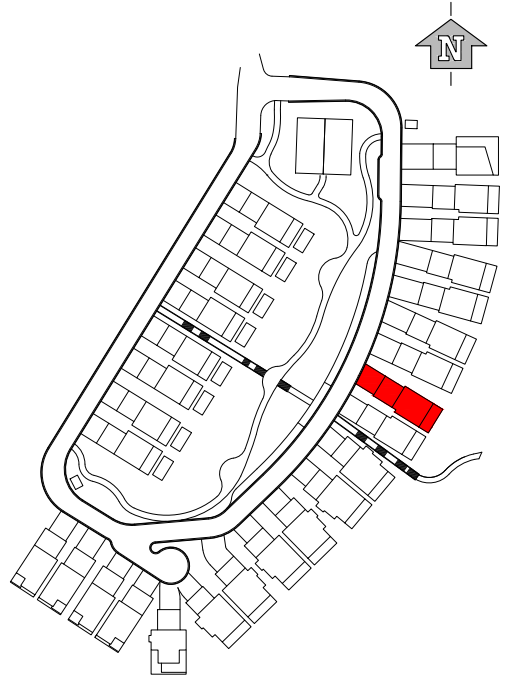
**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
BUILDING CROSS SECTIONS SUITES 05 AND 06

Sheet Number	32 of 52
Project Number	4265.0001.03
Drawing Number	X03
Revision	2



Sept 05, 2024  
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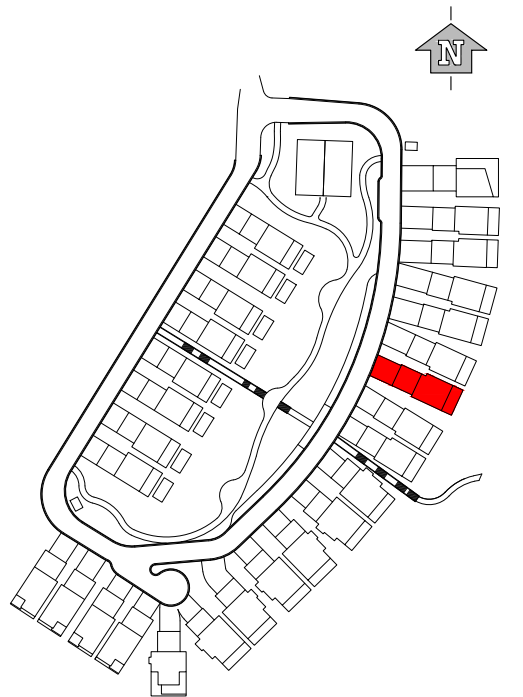
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Detail grading - cut:	0.9	
Detail grading - fill:	27.1	



Attachment C - DP001093 - Rationale

Sept 05, 2024  
Earthworks end areas:

Stripping:	7.0	
Rock:	0.0	
Rough grading - cut:	6.1	
Rough grading - fill:	39.9	
Detail grading - cut:	0.9	
Detail grading - fill:	29.6	



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Coordinate System: UTM NAD 83  
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1	2024-09-06	ISSUED FOR TENDER	TS
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**URBAN SYSTEMS**

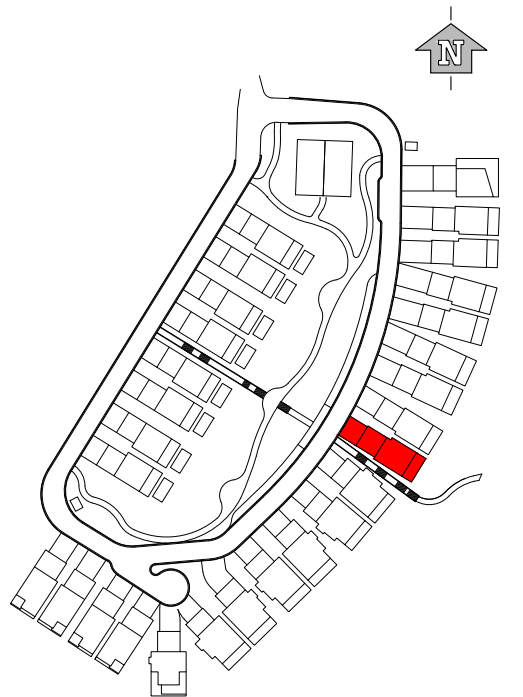
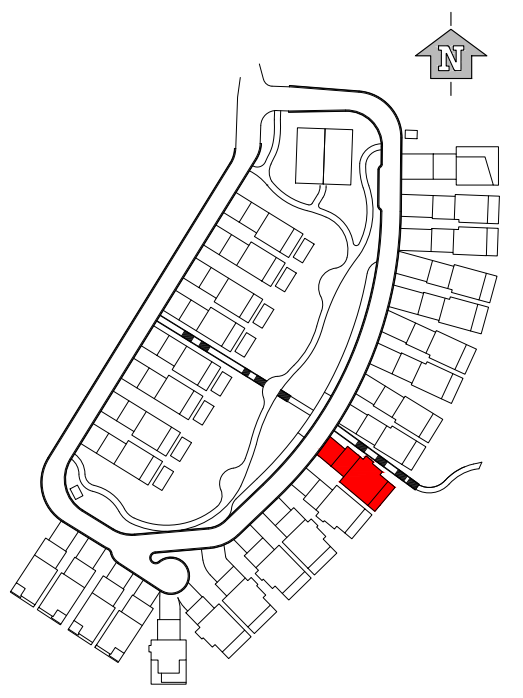
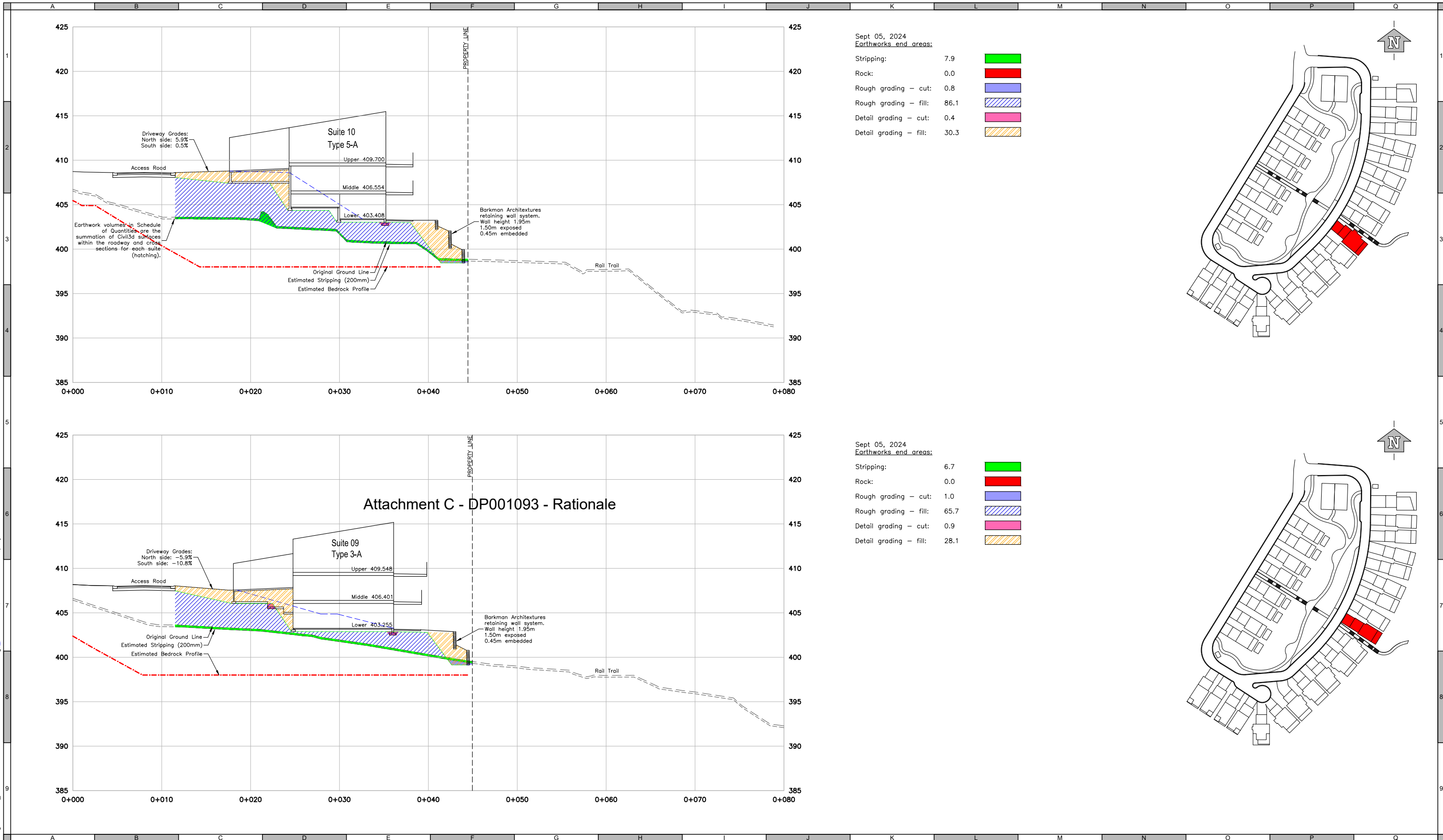
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Quality Control by: TS  
Designed by: JB  
Drawn by: JB

**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
BUILDING CROSS SECTIONS SUITES 07 AND 08

Sheet Number: 33 of 52  
Project Number: 4265.0001.03  
Drawing Number: X04  
Revision: 2

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Attachment C - DP001093 - Rationale

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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: 2022-09-26

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#	Date	Issue / Revision	App
1	2024-09-06	ISSUED FOR TENDER	TS
2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



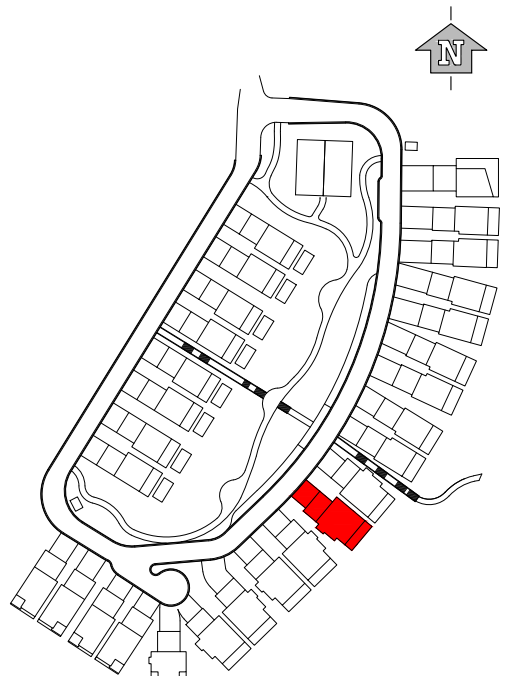
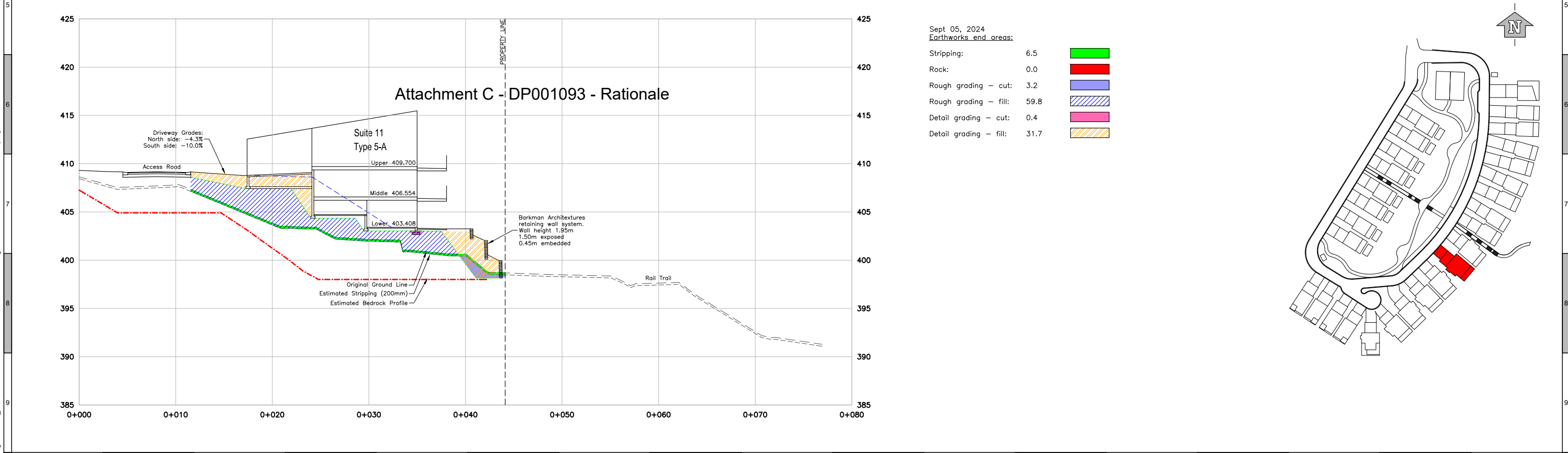
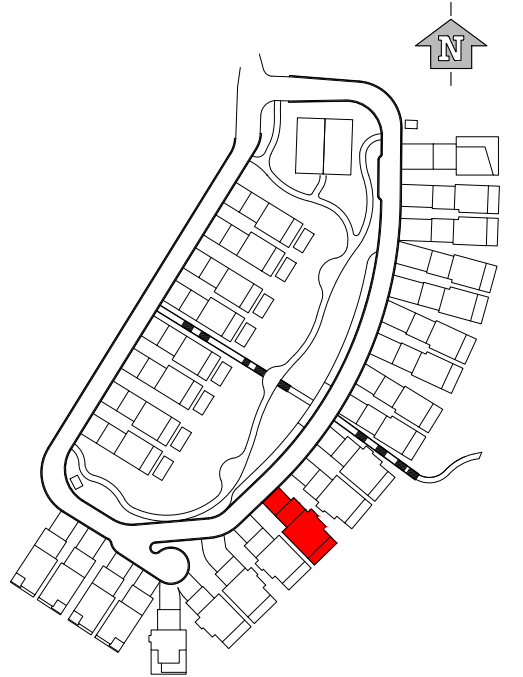
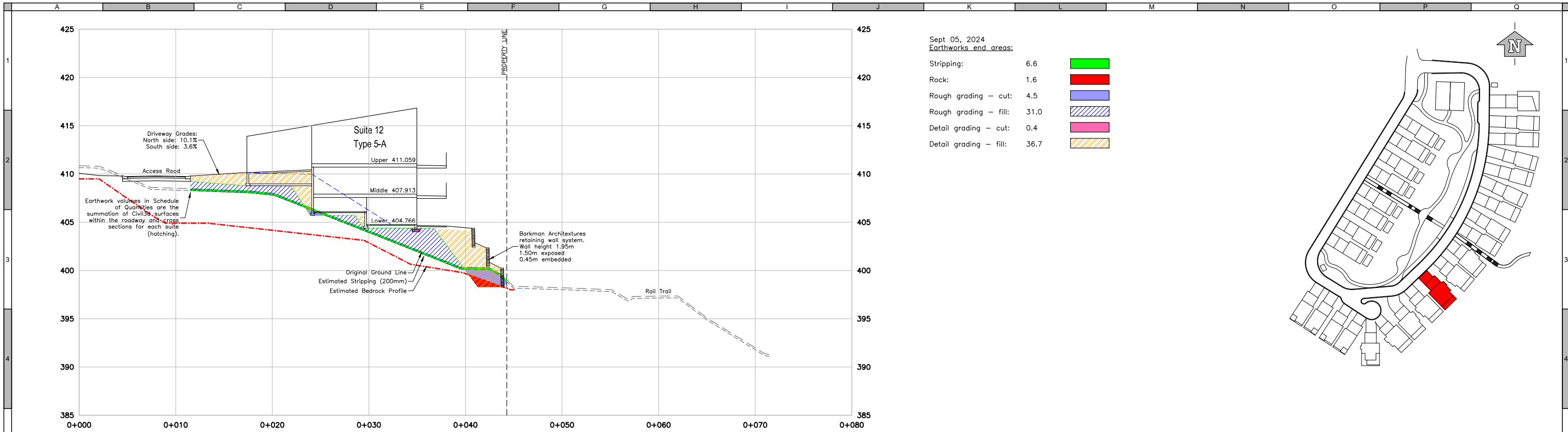
**URBAN SYSTEMS**

Scale: 1:200

Quality Control by: TS  
Designed by: JB  
Drawn by: JB

**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
BUILDING CROSS SECTIONS SUITES 09 AND 10

Sheet Number: 34 of 52  
Project Number: 4265.0001.03  
Drawing Number: X05  
Revision: 2



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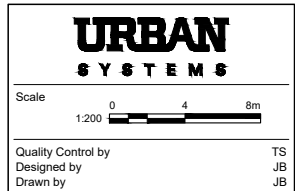
**WARNING**  
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Coordinate System: UTM NAD 83  
Compilation Date: 2022-09-26

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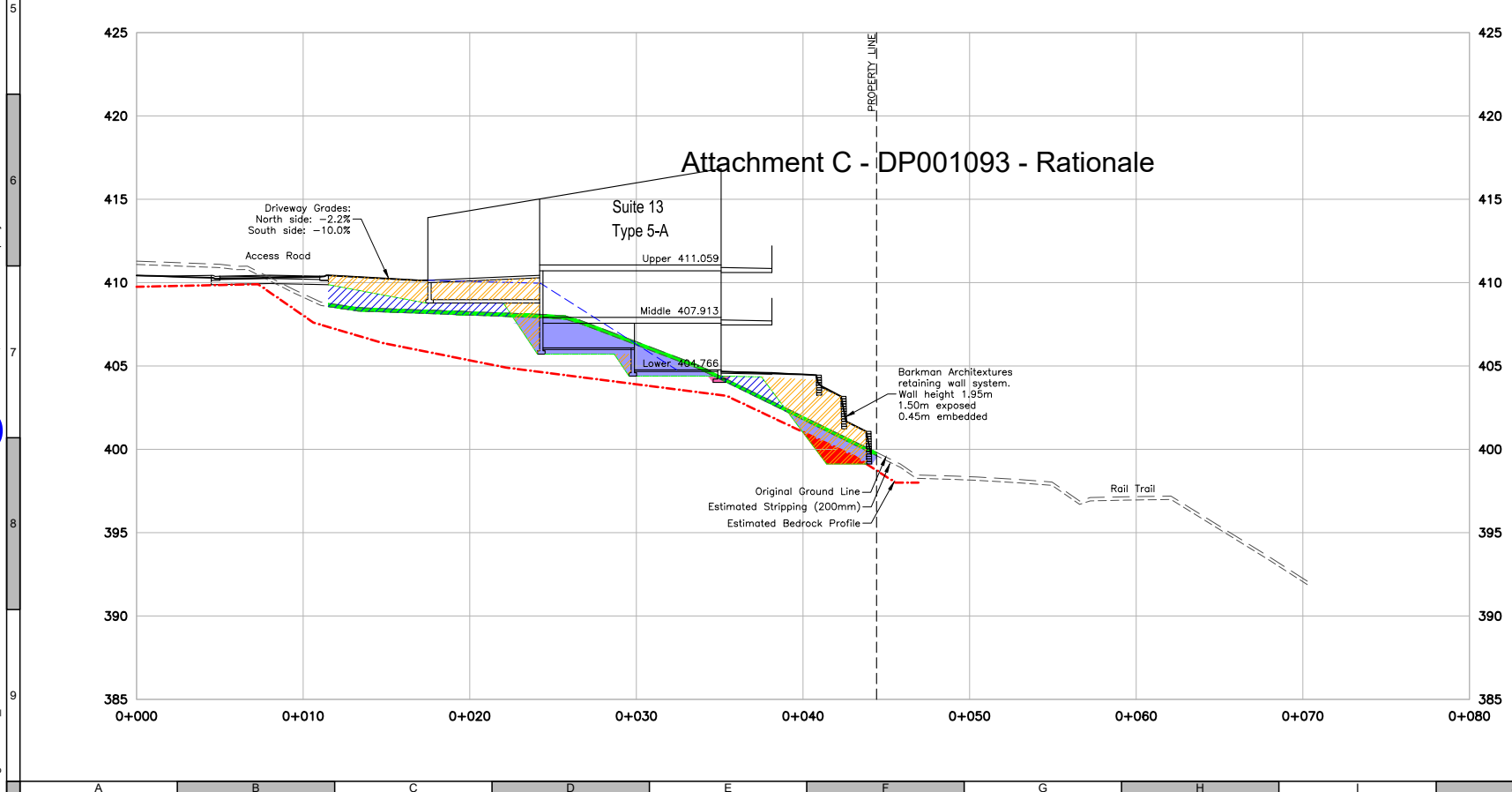
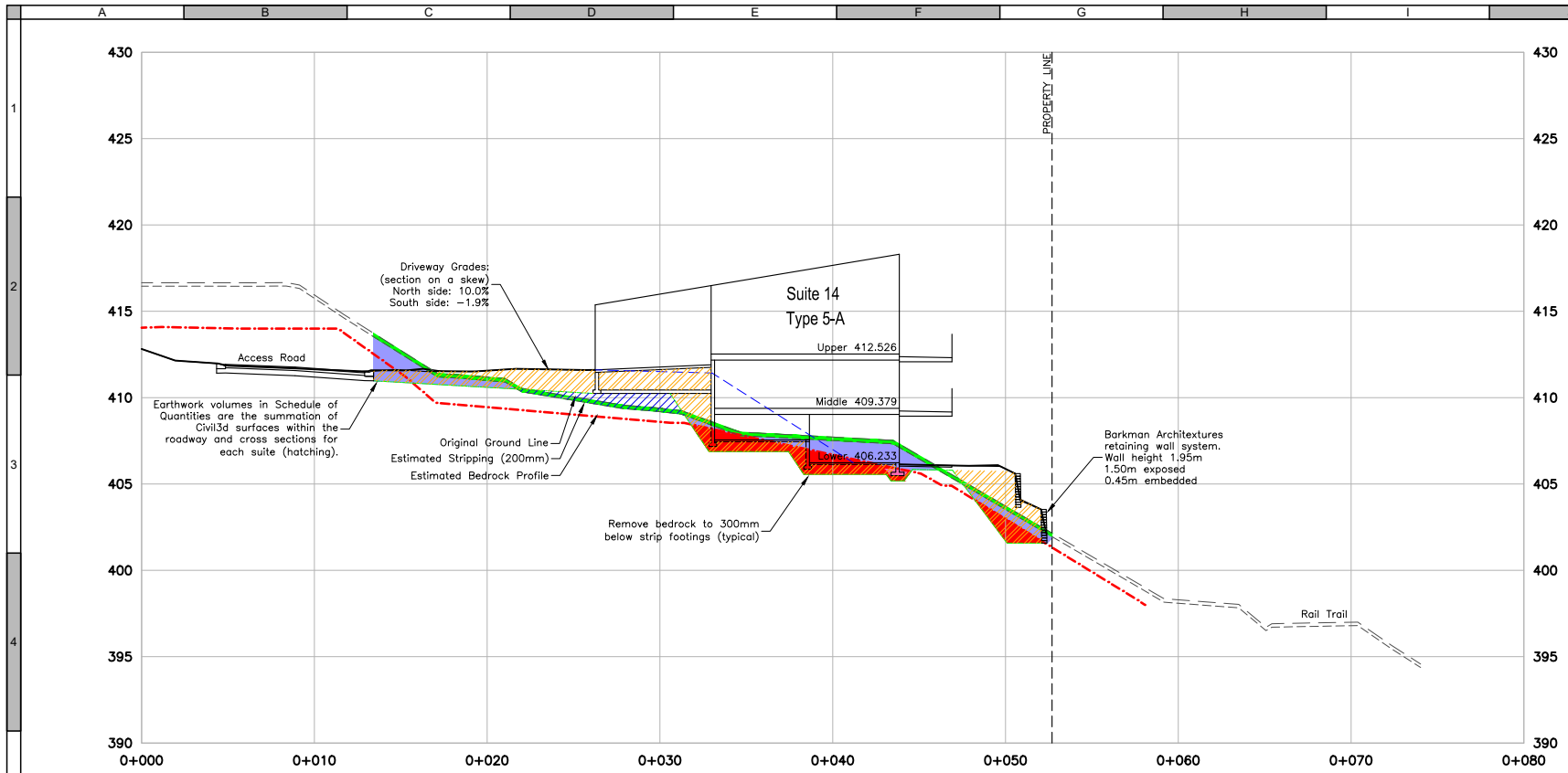
Professional Seals

#	Date	Issue / Revision	App
1	2024-09-06	ISSUED FOR TENDER	TS
2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
BUILDING CROSS SECTIONS SUITES 11 AND 12

Sheet Number: 35 of 52  
Project Number: 4265.0001.03  
Drawing Number: X06  
Revision: 2



Attachment C - DP001093 - Rationale

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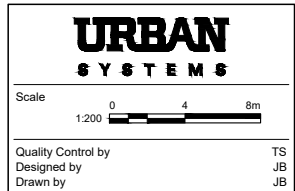
**WARNING**  
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Coordinate System: UTM NAD 83  
Compilation Date: 2022-09-26

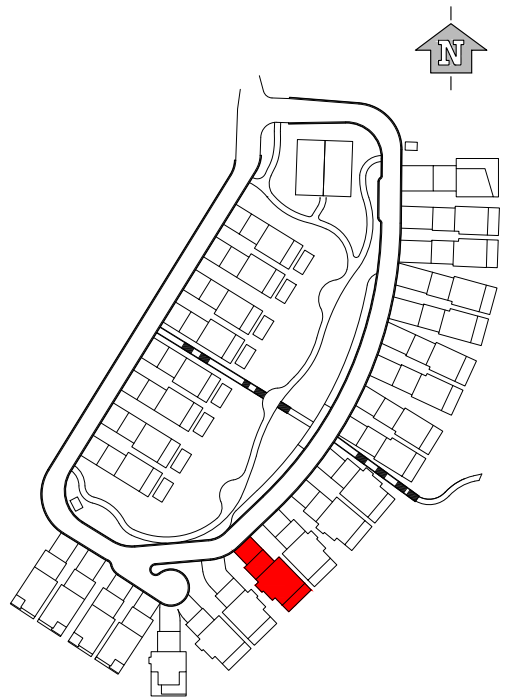
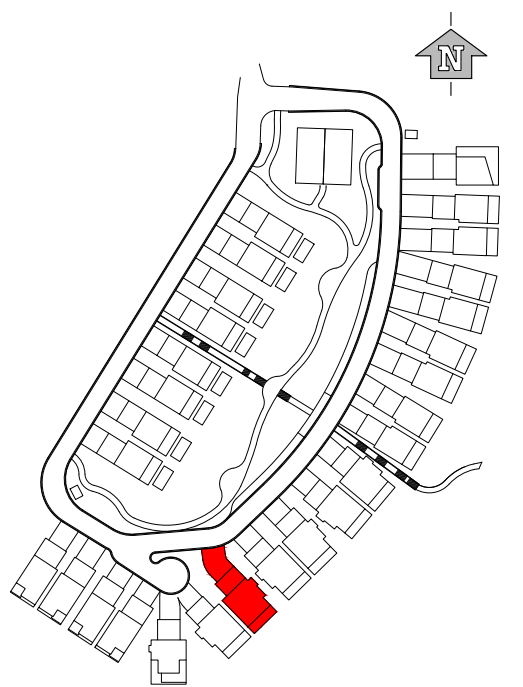
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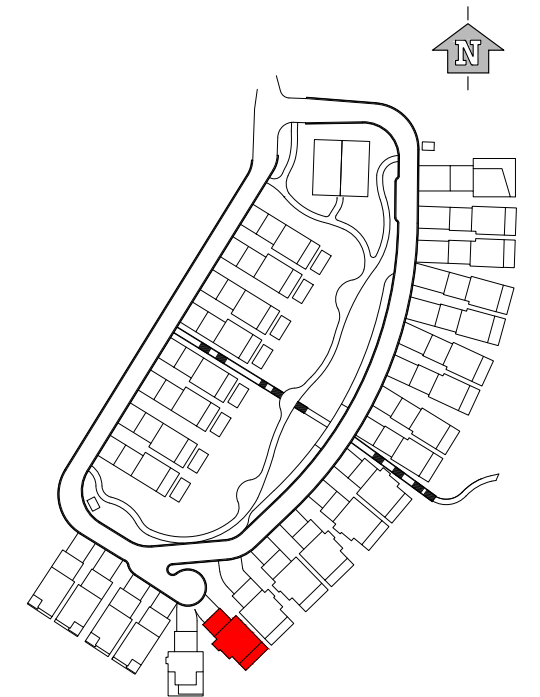
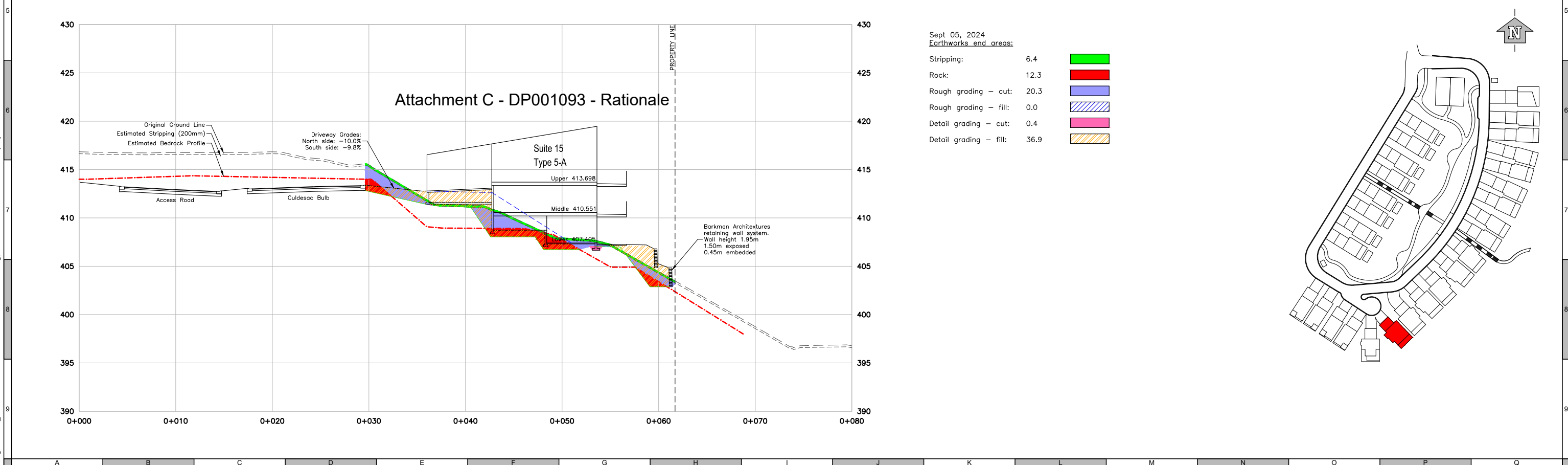
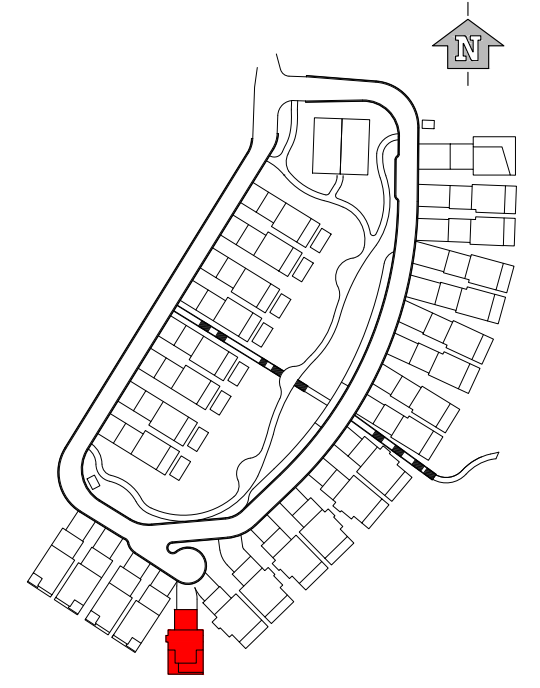
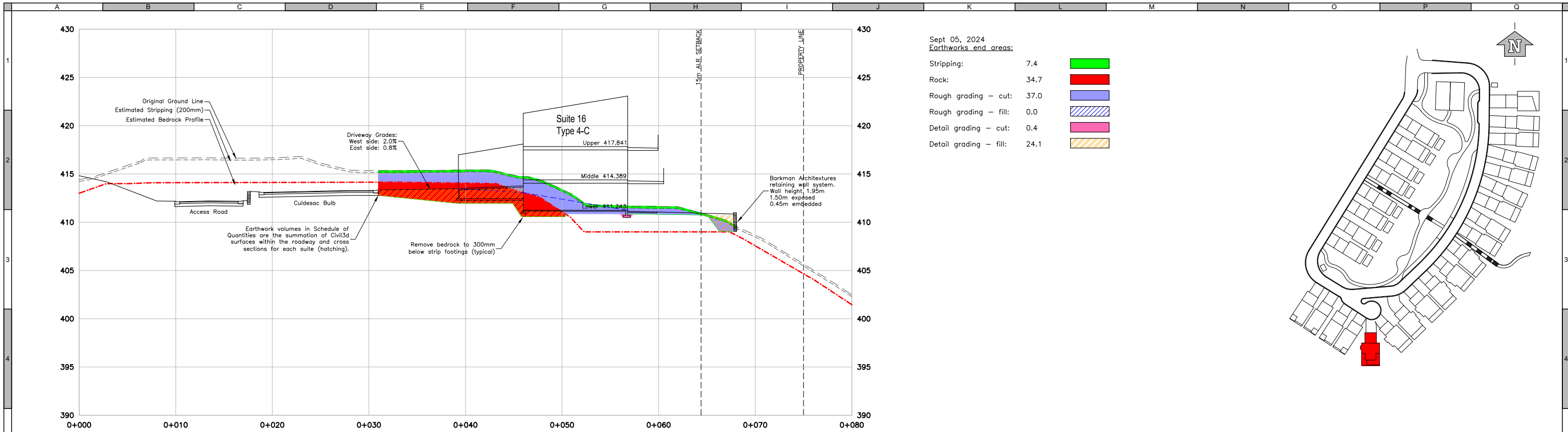
#	Date	Issue / Revision	App
1	2024-09-06	ISSUED FOR TENDER	TS
2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



OWL'S NEST DEVELOPMENT ON-SITE DESIGN BUILDING CROSS SECTIONS SUITES 13 AND 14			
Sheet Number	36 of 52		
Project Number	Drawing Number	Revision	
4265.0001.03	X07	2	



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#	Date	Issue / Revision	App
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2	2025-05-12	ISSUED FOR CONSTRUCTION	TS



**URBAN SYSTEMS**

Scale: 1:200  
0 4 8m

Quality Control by: TS  
Designed by: JB  
Drawn by: JB

**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
BUILDING CROSS SECTIONS SUITES 15 AND 16

Sheet Number: 37 of 52  
Project Number: 4265.0001.03  
Drawing Number: X08  
Revision: 2

**URBAN**SYSTEMS MEMORANDUM

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DATE: July 25, 2025

FILE: 4265.0001.03-R

PAGE: 9 of 10

SUBJECT: Retaining Wall Design Change Rationale

## Appendix C

### Relevant email correspondence

Jason Barta

---

From: Steven Gubbels <sgubbels@lakecountry.bc.ca>  
Sent: Friday, March 15, 2024 4:10 PM  
To: Sheldon Gull  
Cc: Brent Penner; Greg Price; Chris Hellevang  
Subject: Owls Nest Access review  
Attachments: Re: Owls Nest - Access Information

CAUTION: External Email.

Sheldon,

This is in response to your Owls Nest Access Updates memo dated January 26<sup>th</sup>, 2023. In this memo you presented proposed options for dealing with access and circulation involving both offsite (public) and onsite (private) elements. The District has reviewed the information and the concepts are acceptable to the District, and the design can advance following these concepts.

Offsite review (Engineering Works and Services, Driveway Access Permit – Engineering Department)

The following comments are provided for the offsite concepts:

- With the discretion provided in Subdivision and Development Servicing Bylaw 1121 Section G.6.2, the proposed modified hammerhead concept is acceptable to the District Engineer.
- The pavement edge heading north from the entrance along Evans Road (the section with the label “Pavement Edge” on Fig 3) appears to be expanded; as was previously noted, this may not be able to be achieved within the existing SRW conditions, and may require securing additional road dedication. Please confirm that there is adequate road dedication for the turnaround.
- The 2 profile scenarios provided in Figure 4 for the driveway access are acceptable to the District Engineer, and can be approved within his discretion.
- The Driveway Access Permit can be finalized by providing a plan and profile of the chosen scenario.

Onsite Review (Building Permit - Fire, Building and Engineering Departments)

The Fire Department, Engineering and Building have reviewed the onsite road and circulation concept from the memo, and generally have no concerns with the private road network as it is proposed. Attached is an email with Fire Department comments for consideration through the Building Permit process. If you have any questions on this email you can discuss them directly with the Fire Department.

Please let me know if you have any questions on the above.

Regards,

Steven Gubbels

Manager of Development/Approving Officer  
District of Lake Country



t: 778-738-2773 [lakecountry.bc.ca](http://lakecountry.bc.ca)

Jason Barta

---

From: Brent Penner <bpenner@lakecountry.bc.ca>  
Sent: Thursday, March 7, 2024 5:46 PM  
To: Steven Gubbels  
Cc: Darren Lee; Peter Whitfield  
Subject: Re: Owls Nest - Access Information  
Attachments: 2024-01-26 Owls Nest Access Updates.pdf

Good afternoon Steven,

We appreciate the team approach to this project, as there has been some good discussions on this project.

From the fire department perspective, we would like to capture the following items;

- The establishment of a covenant to emphasise “today’s” decisions which will become “tomorrow’s” historical records for the Strata.
- There is a need to maintain the entire travel portion of the driveway; this includes prohibiting on street parking. All fire apparatus require appropriate access, but our Ladder apparatus is even more restrictive... as when the ladder is utilized, the outriggers double the overall width of this truck (which further impedes our access).
- A fire department parking area is provided at the stairway access to the Rail Trail and beach area (as per submitted site plan).
- There are four preestablished staging locations (as per submitted site plan); these will have a grade of less than 5%.
- It has been the understanding of the fire department that all residential structures shall be sprinklered, this has had a positive influence on our site access recommendations for the development.

As the development moves forward, the following topics will be coming up;

- Fire protection for marinas and boatyards must conform to NFPA 303, “Fire Protection Standard for Marinas and Boatyards.”
- The fire department will require collaboration with the developer to establish the location for the Fire Department Connection (FDC) point(s) for the marina as there are complexities surrounding having the public Rail Trail (park) going between the main development and the marina. If the marina is secured by a gate (or equivalent), the fire department will also require a KnoxBox device installed to provide emergency access.
- Establishing an additional FDC to provide firefighter hose access to the backyards of the lower properties is a safety feature that we would like to see installed.
- The fire prevention department will be required to set up an inspection review process with the Strata to ensure all fire protection equipment is routinely maintained as per minimum Fire Code requirements.

Please review and let me know if there are any questions (or omissions we should address).

Thanks,

BP

Brent Penner ECFO, BPSA, AIFireE

Deputy Fire Chief

District of Lake Country

---

From: Steven Gubbels <sgubbels@lakecountry.bc.ca>  
Sent: Friday, February 9, 2024 2:20 PM  
To: Brent Penner <bpenner@lakecountry.bc.ca>; Sid Smith <ssmith@lakecountry.bc.ca>

Cc: Chris Hellevang <chellevang@lakecountry.bc.ca>; Darren Lee <dlee@lakecountry.bc.ca>  
Subject: FW: Owls Nest - Access Information

Here is the Owl's Nest access/internal road information for review. Once we have all had a chance to look at it we could get together to discuss.

Regards,

**Steven Gubbels**

Manager of Development/Approving Officer  
District of Lake Country  
t: 778-738-2773

---

From: Sheldon Gull <[sgull@urbansystems.ca](mailto:sgull@urbansystems.ca)>  
Sent: Friday, February 2, 2024 9:19 AM  
To: Steven Gubbels <[sgubbels@lakecountry.bc.ca](mailto:sgubbels@lakecountry.bc.ca)>  
Cc: Jason Barta <[jbarta@urbansystems.ca](mailto:jbarta@urbansystems.ca)>; Anthony Nguyen <[ANguyen@cantiro.ca](mailto:ANguyen@cantiro.ca)>  
Subject: Owls Nest - Access Information

You don't often get email from [sgull@urbansystems.ca](mailto:sgull@urbansystems.ca). [Learn why this is important](#)

Good morning Steve,

I've attached the access information for the Owls Nest Development as previously discussed, for your consideration and approval. This package provides supporting information for:

- Entrance modified-hammerhead configuration
- Review of access/entrance grades w/options
- Fire truck staging
- Fire truck access and turn movements

Thank-you for your review and consideration. If you have any questions, please don't hesitate to contact me. Your earliest attention to this is appreciated.

Have a great weekend. Kind regards,

SHELDON GULL, AScT Project Manager / Principal

**URBAN**  
SYSTEMS

304-1353 Ellis Street | Kelowna, BC V1Y 1Z9  
t 778-738-4000 | c 250-718-8114 | f 250-763-5266  
w [urbansystems.ca](http://urbansystems.ca)



4265.0001.03 - C4

Jason Barta

---

From: Paul Donaldson <PDonaldson@cantiro.ca>  
Sent: Friday, June 27, 2025 4:03 PM  
To: Jeremy Block; Sheldon Gull  
Cc: Tanvi Patel; Jason Barta; Chris Johnstone  
Subject: FW: Owls Nest Walls [Filed 03 Jul 2025 13:09]  
Attachments: Wall Report - Job 17.111-W - rev 3.pdf; retaining wall height drawings.pdf

Importance: High

Categories: Filed by Mail Manager

CAUTION: External Email.

Good Afternoon

I just meet with Greg Price and attached is how they calculate the wall high. So if you can please take a look at what we have drawn and see how this affects our walls see Gregs notes below

Paul Donaldson

Chris,

Here is the retaining wall fee slip as requested.

Please note, the permit may not be issued until we have revised cross sections to show the walls will not be >1.5m, and we have sealed retaining wall drawings with schedules for field reviews.

The cross sections submitted show a series of walls where the backfill is not shown to be horizontal to vertical, the proposed sloping of grade will not be approved. I have included a sketch for reference.

Thank you,

**Greg Price RBO CRBO**

Manager of Building, Bylaw, and Business Licensing

Planning & Development Department

District of Lake Country

t: 778-738-2775

email: [gprice@lakecountry.bc.ca](mailto:gprice@lakecountry.bc.ca)



10150 Bottom Wood Lake Road, Lake Country, BC V4V 2M1

[lakecountry.bc.ca](http://lakecountry.bc.ca)

**URBAN** SYSTEMS MEMORANDUM

---

DATE: July 25, 2025

FILE: 4265.0001.03-R

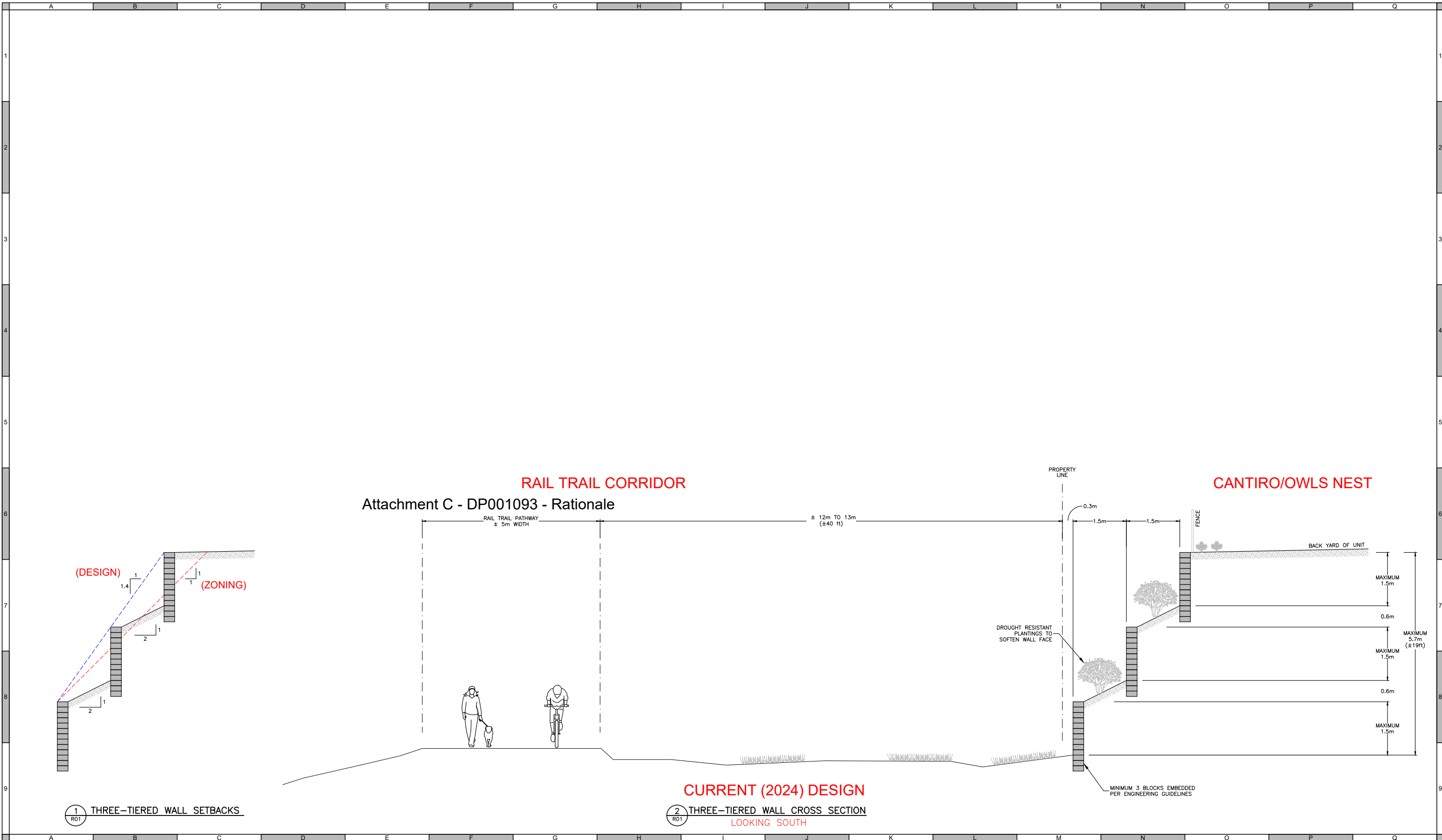
PAGE: 10 of 10

SUBJECT: Retaining Wall Design Change Rationale

## Appendix D

### Typical Cross Section and Rail Trail Interface

U:\Projects\_KEL\4265\001\03\01-Design\CAD\30\_WORKING\_SKETCHES\2025-07-10\_Retaining Wall Typical Sections.dwg, RET WALLS, 2025-07-11 11:48 am |berta



(DESIGN) 1.4 1 1 (ZONING)

1 THREE-TIERED WALL SETBACKS  
R01

2 THREE-TIERED WALL CROSS SECTION  
LOOKING SOUTH  
R01

**ATTENTION**  
This drawing is prepared for the sole use of Cantiro Owls Nest LP. No representations of any kind are made by Urban Systems Ltd. or its employees to any party with whom Urban Systems Ltd. does not have a contract.

**WARNING**  
Utilities or structures shown on this drawing were compiled from information supplied by various parties and may not be complete or accurate. Expose and conclusively confirm the location in the field all underground utilities and structures indicated on this drawing. All underground utilities in the area of the proposed work and any utilities or structures reasonably apparent from an inspection of the proposed work. Urban Systems Ltd. assumes no responsibility for loss or damage caused by third party negligence or failure to comply with the above.

**SURVEY INFORMATION**  
Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
Compilation Date: 2022-09-26

**ISSUED FOR INFORMATION**  
JULY 11, 2025  
urbansystems.ca

Professional Seals

#	Date	Issue / Revision	APP
1	2025-07-10	ISSUED FOR INFORMATION	JB



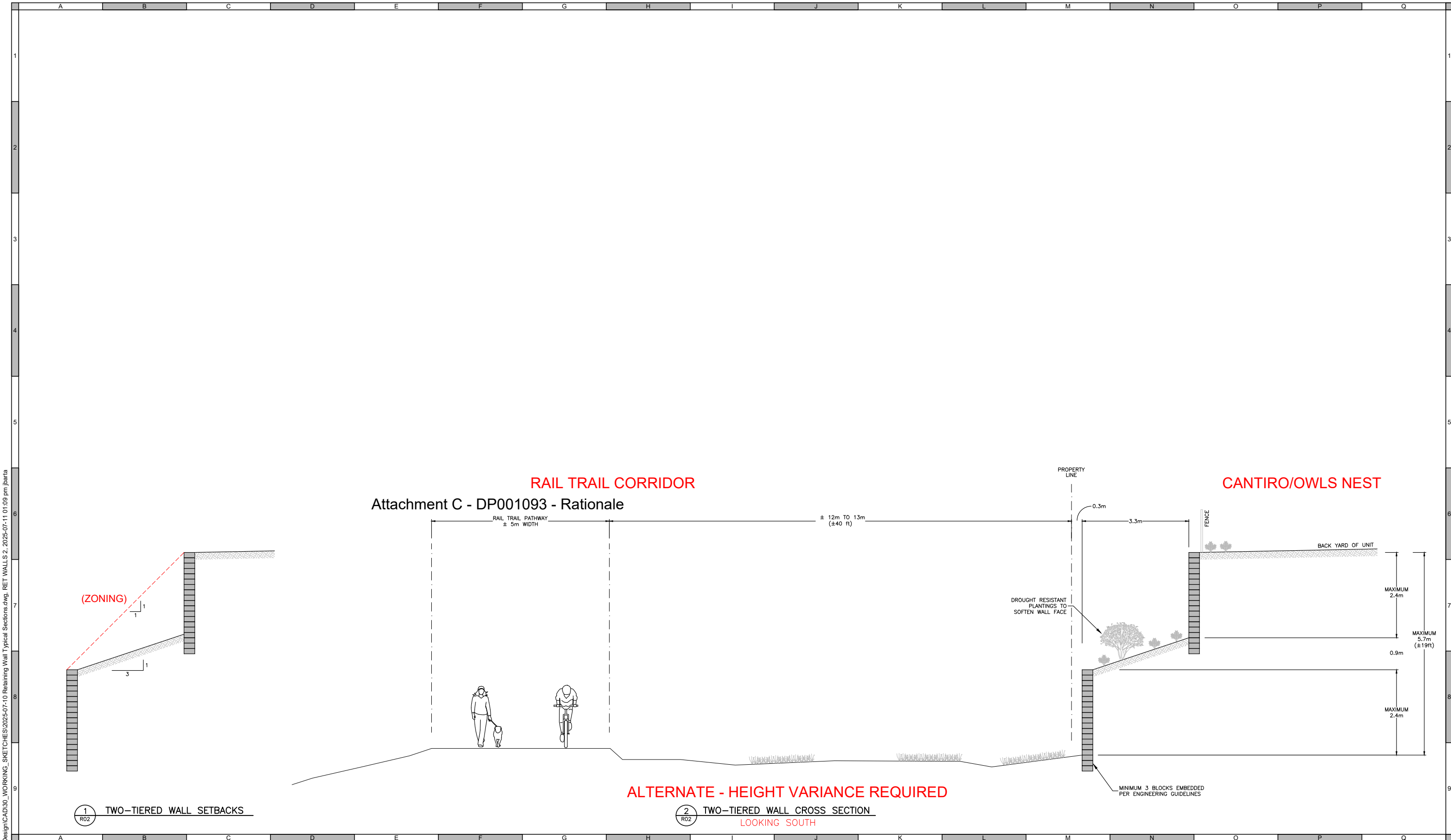
**URBAN SYSTEMS**

Scale 1:50

Quality Control by: JB  
Designed by: JB  
Drawn by: JB

**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
DETAILS  
RETAINING WALL CONCEPTS

Sheet Number	1 of 4
Project Number	4265.0001.03
Drawing Number	R01
Revision	1



**RAIL TRAIL CORRIDOR**  
Attachment C - DP001093 - Rationale

**CANTIRO/OWLS NEST**

(ZONING)

**ALTERNATE - HEIGHT VARIANCE REQUIRED**

1  
R02 TWO-TIERED WALL SETBACKS

2  
R02 TWO-TIERED WALL CROSS SECTION  
LOOKING SOUTH

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1	2025-07-10	ISSUED FOR INFORMATION	JB



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Scale: 1:50

Quality Control by: JB  
Designed by: JB  
Drawn by: JB

**OWL'S NEST DEVELOPMENT ON-SITE DESIGN**  
DETAILS  
RETAINING WALL CONCEPTS

Sheet Number	2 of 4
Project Number	4265.0001.03
Drawing Number	R02
Revision	1



1 RAIL TRAIL & PROPERTY LINE SEPARATION  
R02

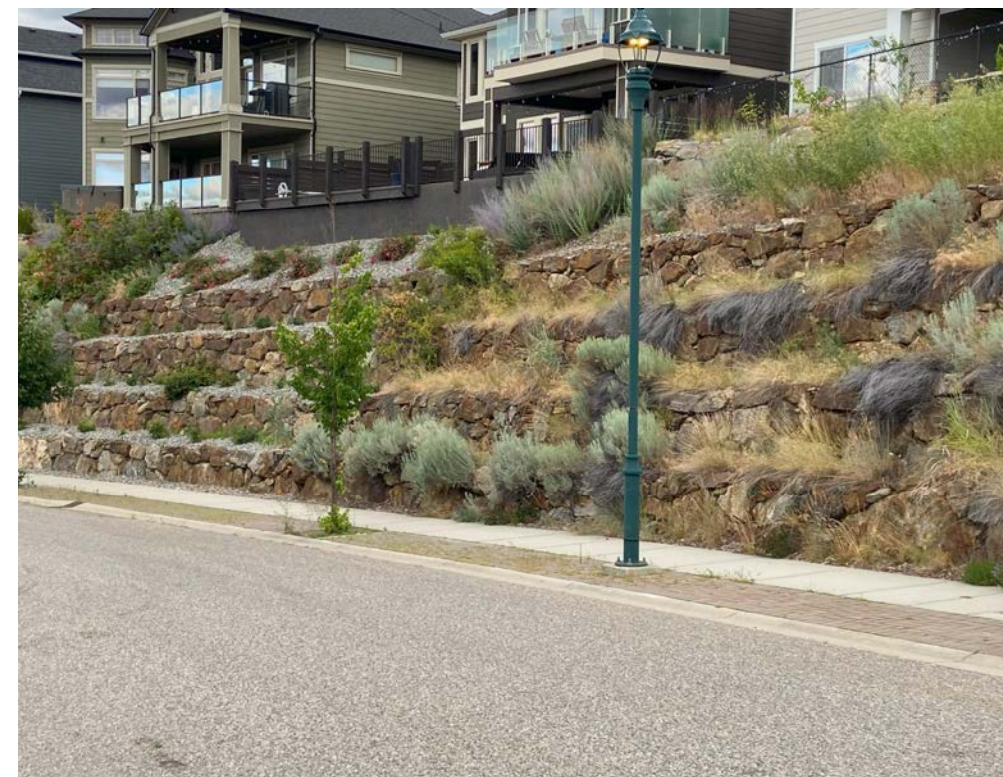


3 WALL SCREENING EXAMPLE PHOTO  
R02



Attachment C - DP001093 - Rationale

2 WALL SCREENING EXAMPLE PHOTO  
R02



4 WALL SCREENING EXAMPLE PHOTO  
R02

U:\Projects\_KEL\4265\0001\03\10-Design\CAD\30\_Working\_Sketches\2025-07-10\_Retaining Wall Typical Sections.dwg, RET WALLS 3, 2025-07-11 11:49 am jbarba

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Prepared by: VECTOR GEOMATICS LTD.  
Coordinate System: UTM NAD 83  
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#	Date	Issue / Revision	App
1	2025-07-10	ISSUED FOR INFORMATION	JB

**CANTIRO**  
Amazing Lives Happen Here

**URBAN SYSTEMS**

Scale  
NOT TO SCALE

Quality Control by JB  
Designed by JB  
Drawn by JB

**OWL'S NEST DEVELOPMENT**  
ON-SITE DESIGN  
LOCATION PLAN AND  
SCREENING EXAMPLES

Sheet Number 3 of 4  
Project Number 4265.0001.03 Drawing Number R03 Revision 1