

APPROVED ISSUANCE OF DEVELOPMENT PERMIT *(pursuant to Sec. 488 of the Local Government Act)*

PERMIT #: DP001072

FOLIO #: 27107000 & 10132000

ZONING DESIGNATION: CD14 – Comprehensive Development 14 (Westpoint Apartment Housing)

ISSUED TO: Chris Joslin

SITE ADDRESS: 9751 & 9819 Bottom Wood Lake Road

LEGAL DESCRIPTION: LOT 44 DISTRICT LOT 118 OSOYOOS DIVISION YALE DISTRICT PLAN 457 EXCEPT PLANS 20108, 36673 AND 39429
LOT 2 SECTIONS 10 AND 11 TOWNSHIP 20 OSOYOOS DIVISION YALE DISTRICT PLAN 4169

PARCEL IDENTIFIER: 011-168-196 & 003-448-991

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

Applicants for Development Permits should be aware that the issuance of a Permit limits the applicant to be in strict compliance with all District bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which have not been identified as required Variances by the applicant or Municipal staff.

If any term or condition of this permit is for any reason held to be invalid by a decision of a Court of competent jurisdiction, such decision will not affect the validity of the remaining portions of this permit.

1. TERMS AND CONDITIONS

Development Permit DP001072 for 9751 & 9819 Bottom Wood Lake Road, legally described as LOT 44 DISTRICT LOT 118 OSOYOOS DIVISION YALE DISTRICT PLAN 457 EXCEPT PLANS 20108, 36673 AND 39429 and LOT 2 SECTIONS 10 AND 11 TOWNSHIP 20 OSOYOOS DIVISION YALE DISTRICT PLAN 4169 for the development of three, five-storey buildings containing 240 units and portion of the amenity building shall be conducted in accordance with the recommendations contained in the following documents attached to and forming part of this permit:

- a) The development of the subject shall be conducted in accordance with the following documents to the satisfaction of the Director of Planning and Development:
 - (i) **Schedule A:** Site Plan and Architectural Drawings with revision 1 date 2025-04-16, prepared by Zeidler Architecture;

- (ii) **Schedule B:** Phase 1 Erosion & Sediment Control Plan, On-Site Grading Plan & On-Site Servicing Plan - 9751 & 9819 Bottom Wood Lake Road, with date 2023-05-24, prepared by Runnals Denby Ltd. McElhanney Ltd.;
- (iii) **Schedule C:** Landscape Plan with date 2025-03-03, prepared by Zeidler Architecture.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Development Permit, a security deposit is required for \$ 567,966.25 for Phase 1 and \$ 262,018.13 for Phase 2 (125% of the Landscape Estimate and Environmental Monitoring Estimate). This will be collected prior to the issuance of the applicable Building Permit.

Upon acceptance of the works by municipal staff, 85% of the security shall be returned. The Municipality shall retain the remaining 15% for a period of 24 months from the date of acceptance of the works, during which time the Municipality may use the remaining security to replace the required works, if necessary. Upon the expiration of the 24 months warranty period, the Permit Holder must provide a statement certified by a qualified professional indicating that the works have met the requirements of the survival monitoring and reporting as identified in the Environmental Assessment Report along with the conditions specified in the Development Permit. The remaining security funds shall be refunded at the expiration of the 24 months warranty period, subject to a final inspection by Municipal staff to confirm the survival of the required works.

3. DEVELOPMENT

The development described herein shall be undertaken strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached to shall form a part hereof.

The development shall commence within **TWO** YEARS of the date that this permit is issued.

If the Permit Holder does not substantially commence the development permitted by this Permit within **TWO** years of the date of issuance of this permit, this permit shall lapse.

The terms of the permit or any amendment to it are binding on all persons who acquire an interest in the land affected by the permit.

**THIS IS NOT A BUILDING PERMIT
OR A CERTIFICATE TO COMMENCE
CONSTRUCTION**

4. APPROVALS

Authorization passed by Council on the ____ day of _____, 2025.

Issued by the Corporate Officer of the District of Lake Country this ____ day of _____, 2025.

Corporate Officer, Reyna Seabrook



UPDATED DP SUBMISSION

9751 BOTTOM WOOD LAKE ROAD

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7



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Autodesk Docs://Bottom Wood Lake Road/AR_223-159_WPP_BWLR_R24.rvt

2025-04-16 3:36:07 PM

ARCHITECTURAL	LANDSCAPE	CIVIL - ON-SITE	CIVIL - OFF-SITE
DP0.00 COVER SHEET	LDP 1.0 OVERALL LANDSCAPE PLAN	C1-00 COVER	C1-000 COVER-OFFSITE
DP1.01 PROJECT - BYLAW INFO., BLOCK PLAN & SITE PHOTOS	LDP 1.1 LANDSCAPE PLAN	C1-005 EROSION & SEDIMENT CONTROL PLAN	C1-600 OFF-SITE OVERALL SERVICING
DP1.02 SITE SURVEY	LDP 1.2 LANDSCAPE PLAN	C1-006 EROSION & SEDIMENT CONTROL PLAN	C1-700 OFF-SITE PLAN & PROFILE
DP1.03 CONCEPTUAL MASTER PLAN	LDP 1.3 LANDSCAPE PLAN	C1-100 ON-SITE GRADING PLAN	C1-701 OFF-SITE PLAN & PROFILE
DP1.04 STRATA PLAN	LDP 1.4 BLDG A & B TYP UNIT PLANTING	C1-101 ON-SITE GRADING PLAN	C1-702 OFF-SITE PLAN & PROFILE
DP1.05 PHASING PLAN	LDP 1.5 BLDG C TYP UNIT PLANTING	C1-200 ON-SITE EARTHWORKS	
DP1.06 FIRE ACCESS ROUTE	LDP 1.6 TYPICAL SECTIONS	C1-201 ON-SITE EARTHWORKS	
DP1.07 SITE PLAN		C1-300 ON-SITE SERVICING PLAN & PROFILE	
DP2.0A BUILDING A - FLOOR PLAN - PARKADE		C1-301 ON-SITE SERVICING PLAN & PROFILE	
DP2.0B BUILDING B - FLOOR PLAN - PARKADE		C1-302 ON-SITE SERVICING PLAN & PROFILE	
DP2.0C BUILDING C - FLOOR PLAN - PARKADE		C1-303 ON-SITE SERVICING PLAN & PROFILE	
DP2.1A BUILDING A - FLOOR PLAN - LEVEL 1			
DP2.1B BUILDING B - FLOOR PLAN - LEVEL 1			
DP2.1C BUILDING C - FLOOR PLAN - LEVEL 1			
DP2.1D BUILDING D - FLOOR PLANS			
DP2.2A BUILDING A - FLOOR PLAN - LEVEL 2-5			
DP2.2B&C BUILDING B&C - FLOOR PLAN - LEVEL 2-5			
DP3.0 BUILDING A - ELEVATIONS			
DP3.1 BUILDING A - ELEVATIONS			
DP3.2 BUILDING B - ELEVATIONS			
DP3.3 BUILDING B - ELEVATIONS			
DP3.4 BUILDING C - ELEVATIONS			
DP3.5 BUILDING C - ELEVATIONS			
DP3.6 CONCEPTUAL RENDERINGS			
DP3.7 CONCEPTUAL RENDERINGS			
DP3.8 CONCEPTUAL RENDERINGS			
DP3.9 CONCEPTUAL RENDERINGS			
DP3.10 CONCEPTUAL RENDERINGS			

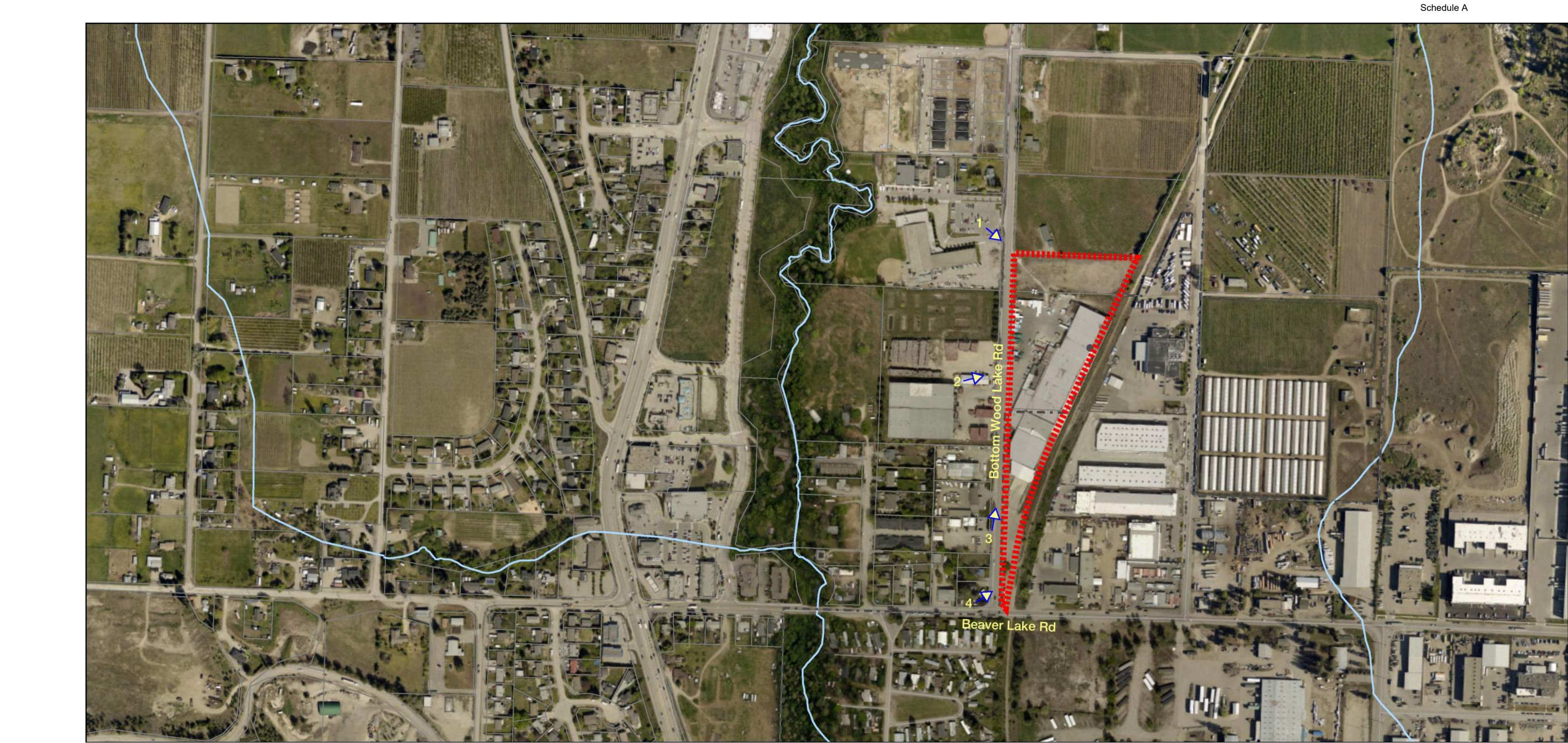
2	UPDATED DP SUBMISSION	2025-04-16
1	DEVELOPMENT PERMIT	2025-03-03
NO.	ISSUE/ REVISION	DATE

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP0.00





CONTEXT MAP & SITE PHOTO KEY PLAN



1. VIEW FROM BOTTOM WOOD LAKE ROAD - LOOKING SOUTH EAST



2. VIEW FROM BOTTOM WOOD LAKE ROAD - LOOKING EAST

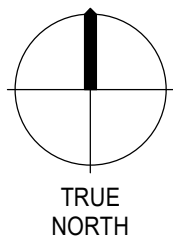


3. VIEW FROM BOTTOM WOOD LAKE ROAD - LOOKING NORTH



4. VIEW FROM BOTTOM WOOD LAKE ROAD - LOOKING NORTH EAST

PROJECT INFORMATION																													
OWNER:	WEST POINT PROJECTS																												
DP APPLICANT:	ZEIDLER ARCHITECTURE																												
MUNICIPAL ADDRESS:	9751 & 9819 BOTTOM WOOD LAKE ROAD																												
LEGAL ADDRESS:	LOT 44, EXCEPT PLANS 20108, 36673 & 39429, PART OF LOT 45 & 46 (SEE PLAN 940F), EXCEPT PLAN 36873, ALL OF PLAN 457, D.L. 116, O.D.Y.D., AND LOT 2, SECTIONS 10 & 11, TOWNSHIP 20, O.D.Y.D., PLAN 4169																												
PARCEL AREA:	35,013.5 m² / 376,883 ft² / 3.5 ha																												
LANDUSE BYLAW:	DISTRICT OF LAKE COUNTRY ZONING BYLAW 561, 2007 CONSOLIDATED VERSION																												
ZONING:	CD-14 - COMPREHENSIVE DEVELOPMENT 14 (WEST POINT APARTMENT HOUSING)																												
GENERAL DESCRIPTION:	5 STOREY WOOD FRAME APARTMENT HOUSING																												
PRINCIPAL USES / FLOOR:	RESIDENTIAL																												
UNIT TYPE BREAKDOWN:	<table><tr><td>APARTMENT HOUSING:</td><td>BUILDING B:</td><td>BUILDING C:</td></tr><tr><td>BUILDING A:</td><td>10 x STUDIO</td><td>10 x STUDIO</td></tr><tr><td>10 x STUDIO</td><td>15 x JR - 1BR</td><td>15 x JR - 1BR</td></tr><tr><td>15 x JR - 1BR</td><td>20 x 1BR</td><td>20 x 1BR</td></tr><tr><td>20 x 1BR</td><td>15 x 2BR</td><td>15 x 2BR</td></tr><tr><td>15 x 2BR</td><td>16 x 2BR - CORNER</td><td>16 x 2BR - CORNER</td></tr><tr><td>16 x 2BR - CORNER</td><td>4 x 3BR</td><td>4 x 3BR</td></tr><tr><td>4 x 3BR</td><td>TOTAL: 80 UNITS</td><td>TOTAL: 80 UNITS</td></tr><tr><td>TOTAL: 80 UNITS</td><td></td><td></td></tr></table>		APARTMENT HOUSING:	BUILDING B:	BUILDING C:	BUILDING A:	10 x STUDIO	10 x STUDIO	10 x STUDIO	15 x JR - 1BR	15 x JR - 1BR	15 x JR - 1BR	20 x 1BR	20 x 1BR	20 x 1BR	15 x 2BR	15 x 2BR	15 x 2BR	16 x 2BR - CORNER	16 x 2BR - CORNER	16 x 2BR - CORNER	4 x 3BR	4 x 3BR	4 x 3BR	TOTAL: 80 UNITS	TOTAL: 80 UNITS	TOTAL: 80 UNITS		
APARTMENT HOUSING:	BUILDING B:	BUILDING C:																											
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15 x JR - 1BR	20 x 1BR	20 x 1BR																											
20 x 1BR	15 x 2BR	15 x 2BR																											
15 x 2BR	16 x 2BR - CORNER	16 x 2BR - CORNER																											
16 x 2BR - CORNER	4 x 3BR	4 x 3BR																											
4 x 3BR	TOTAL: 80 UNITS	TOTAL: 80 UNITS																											
TOTAL: 80 UNITS																													
	TOTAL UNIT COUNT: 240 MULTIFAMILY UNITS																												



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NOTE

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CLAUSE	REQUIREMENT	PROVIDED																																																			
FLOOR AREA RATIO (F.A.R.): (19.12.5(a))	MAXIMUM 2.35 F.A.R. MINIMUM 0.5 F.A.R. SITE AREA (LOT 1): 14,941.3 m² (LOT 1 = MIN. 7,470 m² MAX. 35,112 m² F.A.R.)	<table><tr><th>LEVEL</th><th>AREA SQ.FT.</th><th>AREA SQ.M.</th></tr><tr><td>BLDG A - LEVEL 1</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG A - LEVEL 2</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG A - LEVEL 3</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG A - LEVEL 4</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG A - LEVEL 5</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG B - LEVEL 1</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG B - LEVEL 2</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG B - LEVEL 3</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG B - LEVEL 4</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG B - LEVEL 5</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG C - LEVEL 1</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG C - LEVEL 2</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG C - LEVEL 3</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG C - LEVEL 4</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>BLDG C - LEVEL 5</td><td>13130.4 ft²</td><td>1219.9 m²</td></tr><tr><td>TOTAL</td><td>196956.3 ft²</td><td>18297.8 m²</td></tr></table> SITE AREA: LOT 1 - 160,826.7 ft² ; 14,941.3 m² F.A.R. = (18297.8/14941.3) = 1.2	LEVEL	AREA SQ.FT.	AREA SQ.M.	BLDG A - LEVEL 1	13130.4 ft²	1219.9 m²	BLDG A - LEVEL 2	13130.4 ft²	1219.9 m²	BLDG A - LEVEL 3	13130.4 ft²	1219.9 m²	BLDG A - LEVEL 4	13130.4 ft²	1219.9 m²	BLDG A - LEVEL 5	13130.4 ft²	1219.9 m²	BLDG B - LEVEL 1	13130.4 ft²	1219.9 m²	BLDG B - LEVEL 2	13130.4 ft²	1219.9 m²	BLDG B - LEVEL 3	13130.4 ft²	1219.9 m²	BLDG B - LEVEL 4	13130.4 ft²	1219.9 m²	BLDG B - LEVEL 5	13130.4 ft²	1219.9 m²	BLDG C - LEVEL 1	13130.4 ft²	1219.9 m²	BLDG C - LEVEL 2	13130.4 ft²	1219.9 m²	BLDG C - LEVEL 3	13130.4 ft²	1219.9 m²	BLDG C - LEVEL 4	13130.4 ft²	1219.9 m²	BLDG C - LEVEL 5	13130.4 ft²	1219.9 m²	TOTAL	196956.3 ft²	18297.8 m²
LEVEL	AREA SQ.FT.	AREA SQ.M.																																																			
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TOTAL	196956.3 ft²	18297.8 m²																																																			
SETBACKS: (19.12.6)	(b) FRONT YARD (BOTTOM WOOD LAKE ROAD): 3.0m (c) SIDE YARD (BEAVER LAKE ROAD): 3.0m (d) SIDE YARD (ABUTTING ALR-DESIGNATED PROPERTY): 6.0m (e) REAR YARD (OKANAGAN RAIL TRAIL): 4.5m	FRONT YARD: 4.3m (COMPLIANT) SIDE YARD: 350m (COMPLIANT) SIDE YARD - ALR: 9.6m (COMPLIANT) REAR YARD: 4.5m (COMPLIANT)																																																			
BUILDING HEIGHT (19.12.5(b))	MAX. BUILDING HEIGHT: THE LESSER OF 22m OR 6 STOREYS, EXCEPT IT IS 4.9M FOR ACCESSORY BUILDING AND STRUCTURES.	421m - 5 STOREYS (COMPLIANT)																																																			
AMENITY SPACE: (19.12.6(e))	THE REQUIRED MINIMUM PRIVATE OPEN SPACE SPACE IS 5 m² PER UNIT. 588 UNITS x 5 m² = 2,940 m² TOTAL AMENITY REQUIRED. PRIVATE OPEN SPACE means a useable open space area exclusive of required building setbacks and parking areas (common or individual) which is developed for the recreational use of the residents ora residential dwelling unit, and may include balconies, indoor common amenity space, terraces, decks and level landscaped recreation areas.	AMENITY SPACE PROVIDED: PRIVATE BALCONY & YARD SPACE: 2,016 m² COMMON AMENITY EXTERIOR - COURTYARD: 1,350 m² COMMON AMENITY EXTERIOR - DOG RUN: 165 m² COMMON AMENITY EXTERIOR - BALCONY: 176 m² COMMON INTERIOR AMENITY - BUILDING A,B, & C: 710 m² COMMON INTERIOR AMENITY - BUILDING D: 346 m² TOTAL AMENITY SPACE PROVIDED: 4,763 m²																																																			
MOTOR VEHICLE PARKING REQUIREMENTS: (19.12.7)	MULTI-RESIDENTIAL DEVELOPMENT 1.0 RESIDENT PARKING STALL PER DWELLING UNIT = 1 STALL x 240 UNITS = 240.0 = 240 RESIDENT STALLS REQ'D 0.14 VISITOR PARKING STALLS PER UNIT = 0.14 STALLS x 240 UNITS = 33.6 = 34 VISITOR STALLS REQ'D TOTAL: 274 STALLS REQUIRED. *Where calculation of the total number of parking spaces yields a fractional number, the required number of spaces shall be the next highest whole number.	VEHICULAR PARKING PROVIDED: MULTIFAMILY: RESIDENT PARKING STALLS PROVIDED (UNDERGROUND) = 111 STALLS RESIDENT PARKING STALLS PROVIDED (SURFACE) = 135 STALLS VISITOR PARKING STALLS PROVIDED (SURFACE) = 34 STALLS TOTAL RESIDENT PARKING STALLS PROVIDED: 246 STALLS TOTAL VISITOR PARKING STALLS PROVIDED: 34 STALLS TOTAL OVERALL PARKING STALLS PROVIDED: 280 STALLS																																																			
BICYCLE PARKING REQUIREMENTS: (9.4)	APARTMENT HOUSING: CLASS I BICYCLE PARKING STALLS REQ'D: = 0.5 CLASS I BICYCLE STALLS PER UNIT = 0.5 x 240 = 120 CLASS I STALLS REQUIRED (40 PER BUILDING) CLASS II BICYCLE STALLS PER UNIT = 0.1 CLASS II BICYCLE STALLS PER UNIT = 0.1 x 240 = 24 CLASS II STALLS REQUIRED (8 PER BUILDING)	BICYCLE PARKING PROVIDED: CLASS I BICYCLE STALLS: WALL MOUNTED: 60 STALLS GROUND ANCHORED: 60 STALLS TOTAL CLASS I BICYCLE STALLS PROVIDED: 120 STALLS CLASS II BICYCLE STALLS PROVIDED: 24 STALLS																																																			

1	DEVELOPMENT PERMIT	2025-03-03
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT
9751 BOTTOM WOOD LAKE ROAD

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

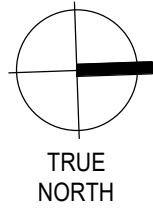
TITLE
PROJECT + BYLAW INFO., BLOCK PLAN & SITE PHOTOS

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP1.01





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1	DEVELOPMENT PERMIT	2025-03-03
A	PROGRESS SET	2025-02-04
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD LAKE ROAD

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

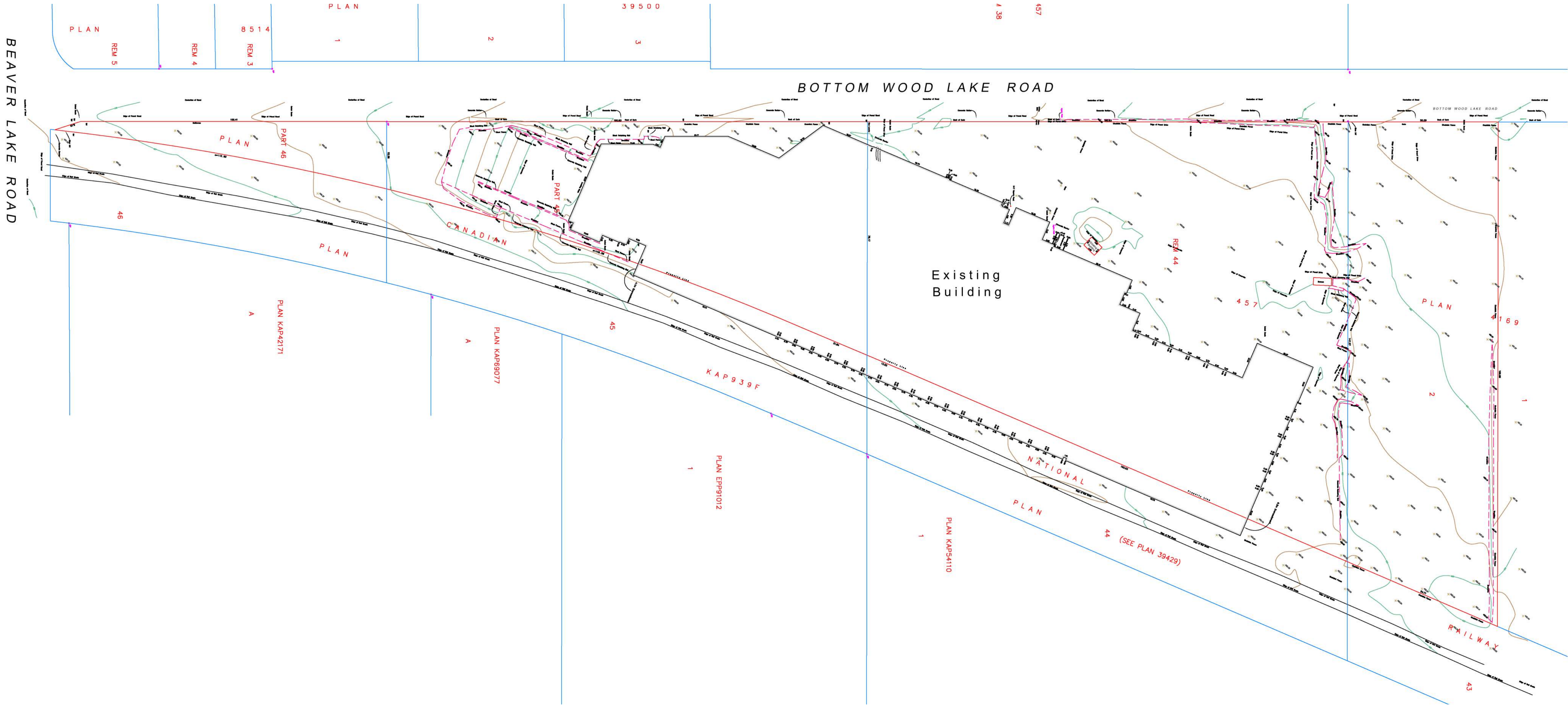
TITLE

SITE SURVEY

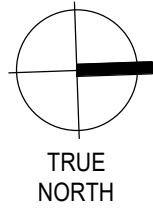
PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP1.02



1 EXISTING SITE SURVEY
DP1.02 SCALE: 1:750



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2	UPDATED DP SUBMISSION	2025-04-16
C	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03
B	COORDINATION	2025-03-02
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

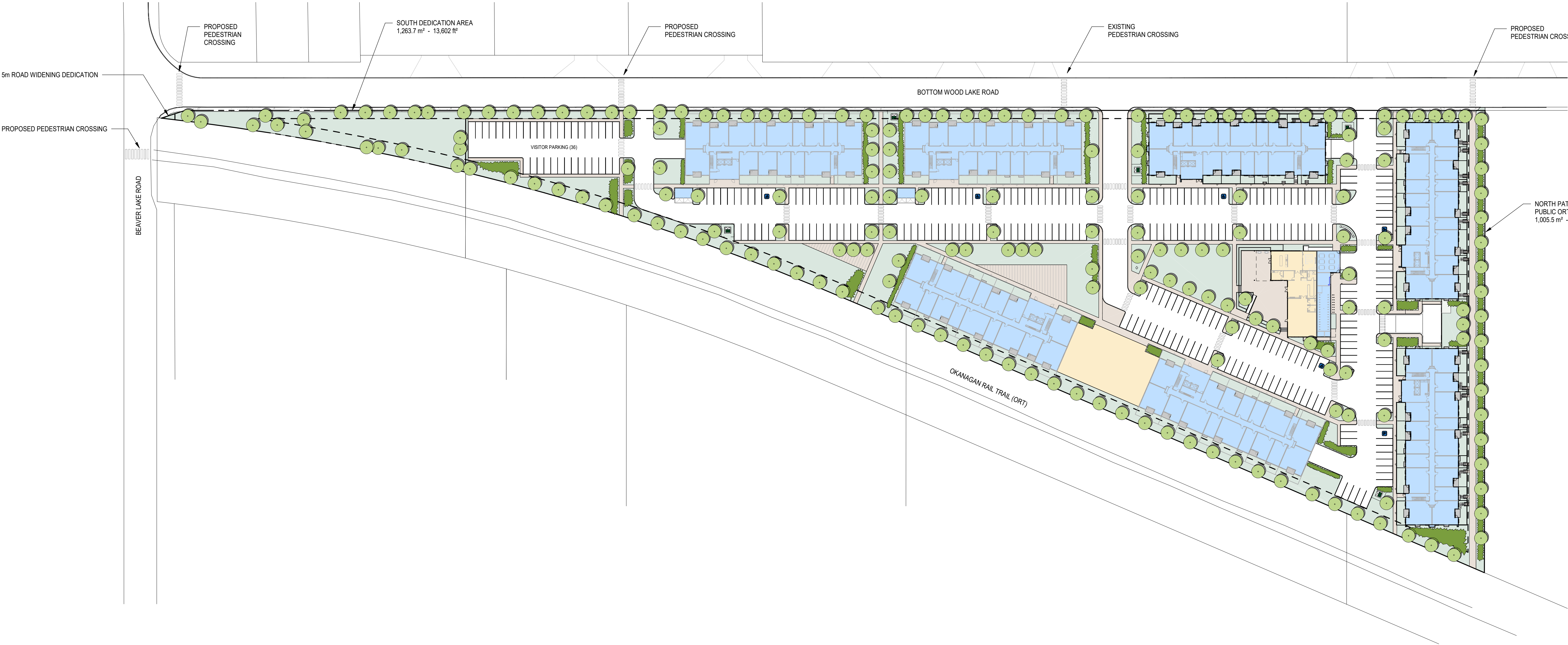
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**CONCEPTUAL
MASTER PLAN**

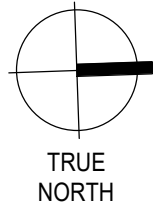
PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP1.03



1 **CONCEPTUAL MASTER PLAN**
DP1.03 SCALE: 1: 750



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2	UPDATED DP SUBMISSION	2025-04-16
1	DEVELOPMENT PERMIT	2025-03-03
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

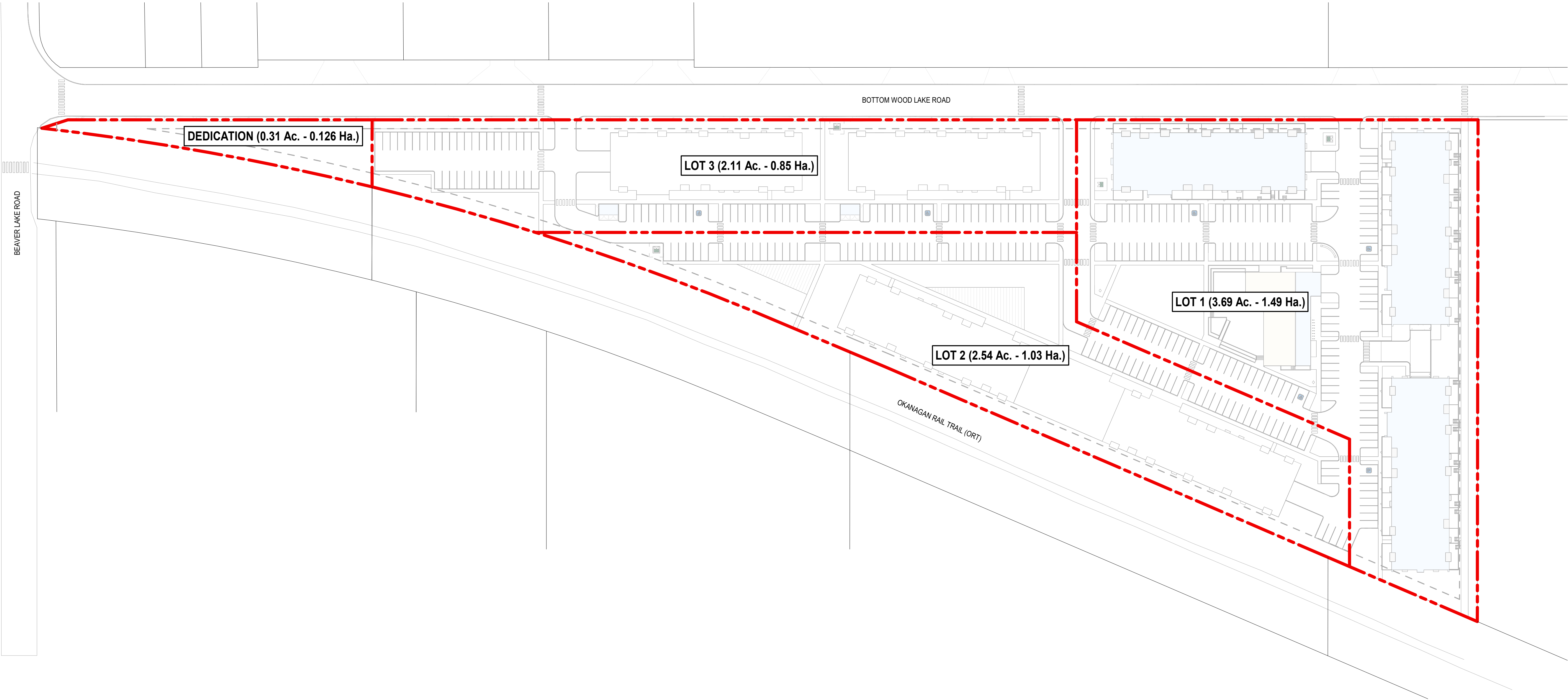
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STRATA PLAN

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP1.04

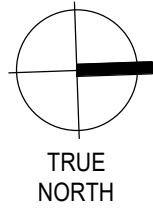


1

STRATA PLAN

DP1.04

SCALE: 1: 750



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2	UPDATED DP SUBMISSION	2025-04-16
1	DEVELOPMENT PERMIT	2025-03-03
B	COORDINATION	2025-03-02
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

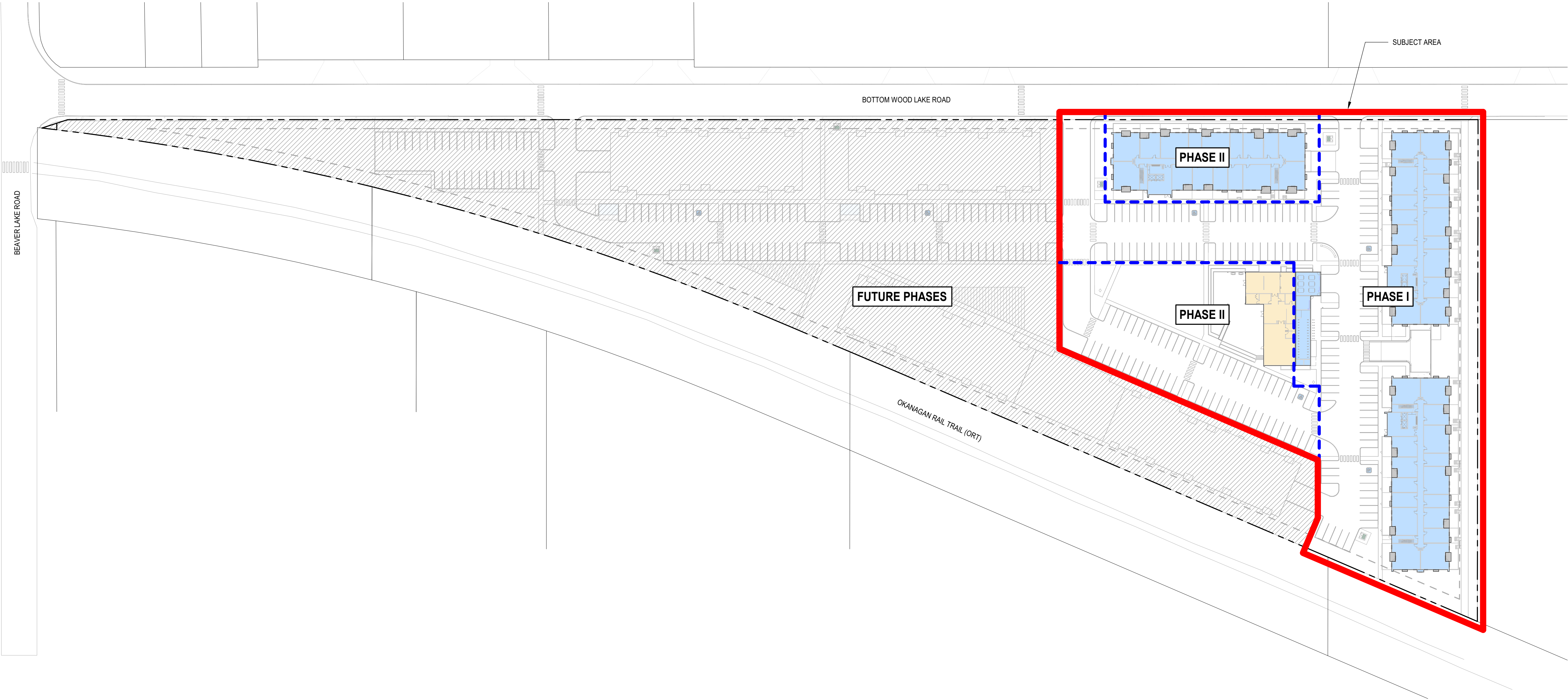
TITLE

PHASING PLAN

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP1.05



1 PHASING PLAN
DP1.05 SCALE: 1:750

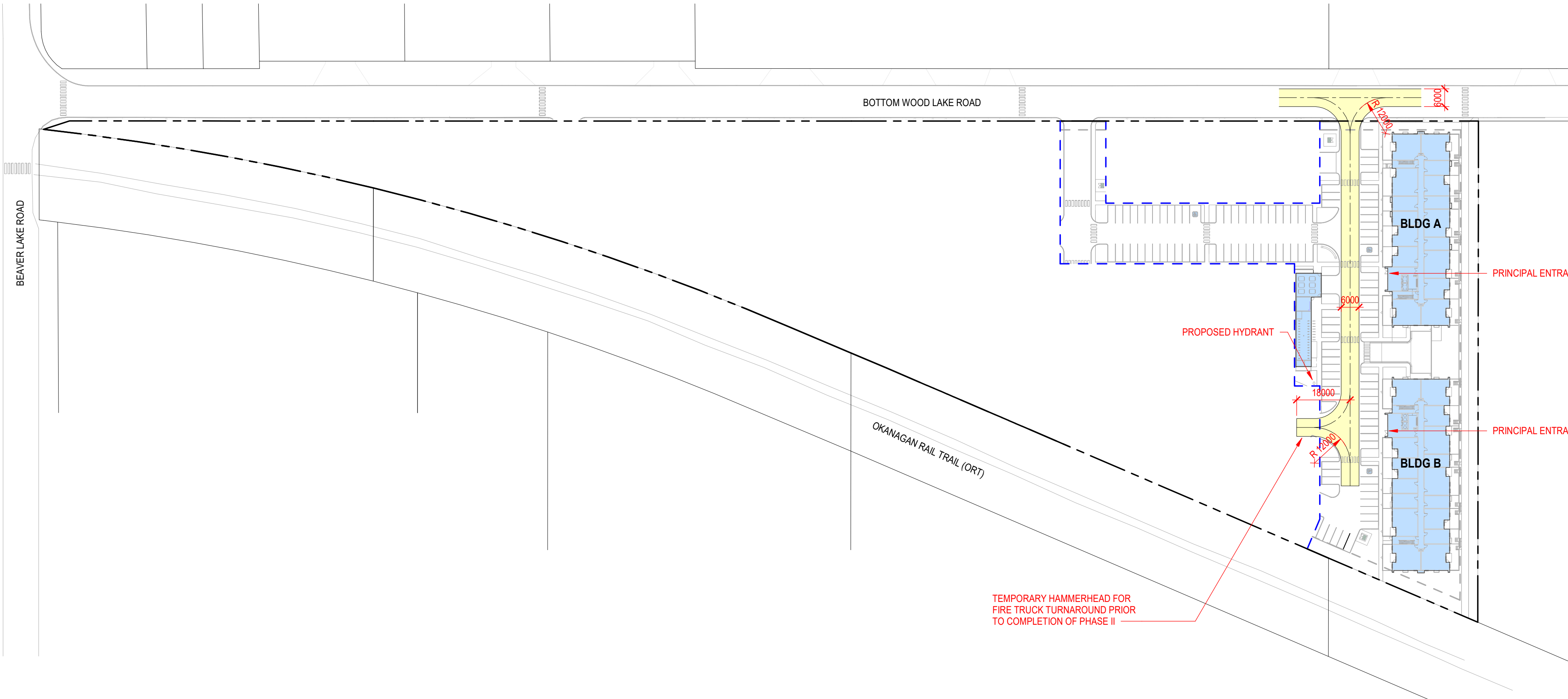
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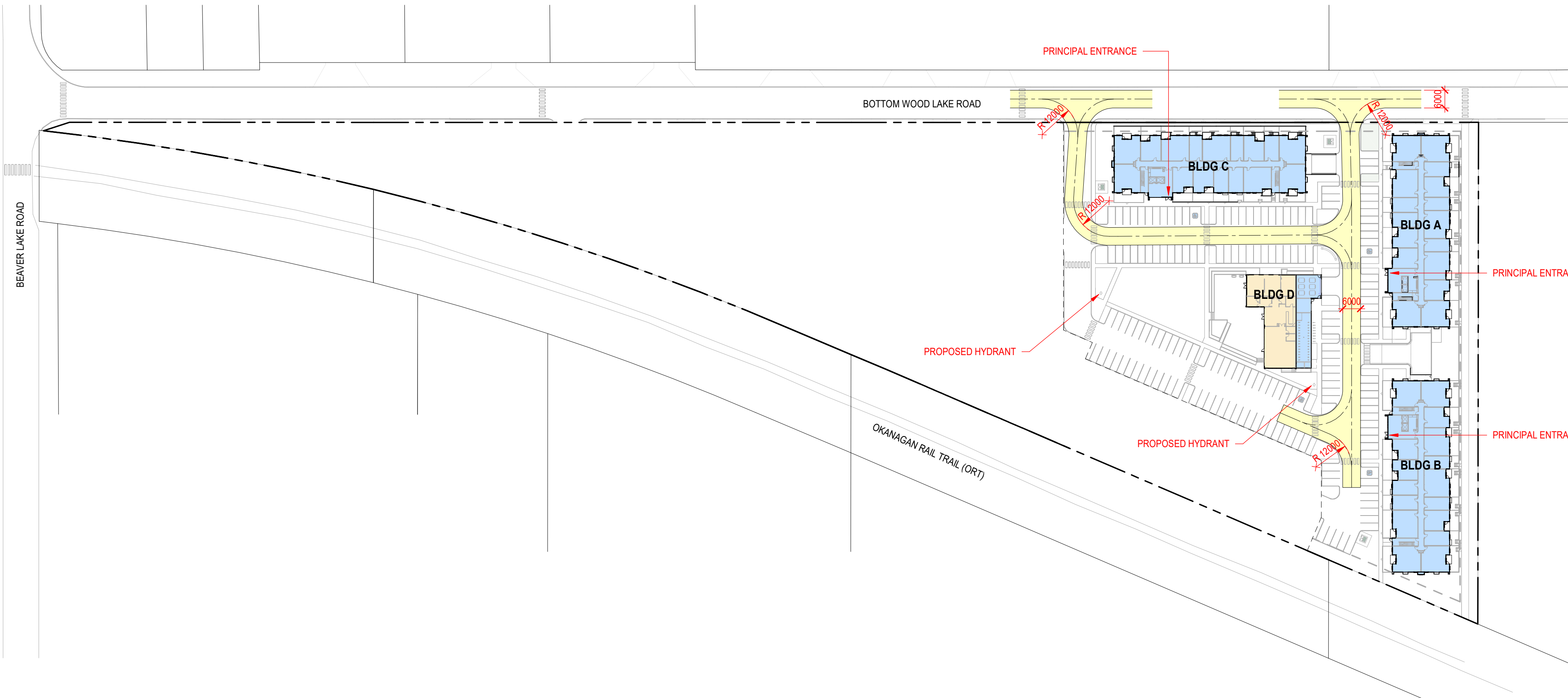
Schedule A

FIRE APPARATUS ACCESS ROUTES MUST BE DESIGNED IN ACCORDANCE WITH ARTICLE 3.2.5.6. AS SUMMARIZED:

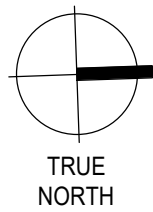
- HAVE A CLEAR WIDTH NOT LESS THAN 6 m.
- HAVE A CENTRELINE RADIUS OF NOT LESS THAN 12 m.
- HAVE AN OVERHEAD CLEARANCE NOT LESS THAN 5 m.
- HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15 m.
- BE DESIGNED TO SUPPORT THE EXPECTED LOADS (85,000 lbs) IMPOSED BY FIREFIGHTING EQUIPMENT AND BE SURFACED WITH CONCRETE, ASPHALT, OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS



1 SITE PLAN - FIRE ACCESS ROUTE - PHASE I
DP1.06 SCALE: 1 : 1000



3 SITE PLAN - FIRE ACCESS ROUTE - PHASE II
DP1.06 SCALE: 1 : 1000



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2	UPDATED DP SUBMISSION	2025-04-16
B	FOUNDATION PERMIT	2025-02-28
1	DEVELOPMENT PERMIT	2025-03-03
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD LAKE ROAD

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

FIRE ACCESS ROUTE

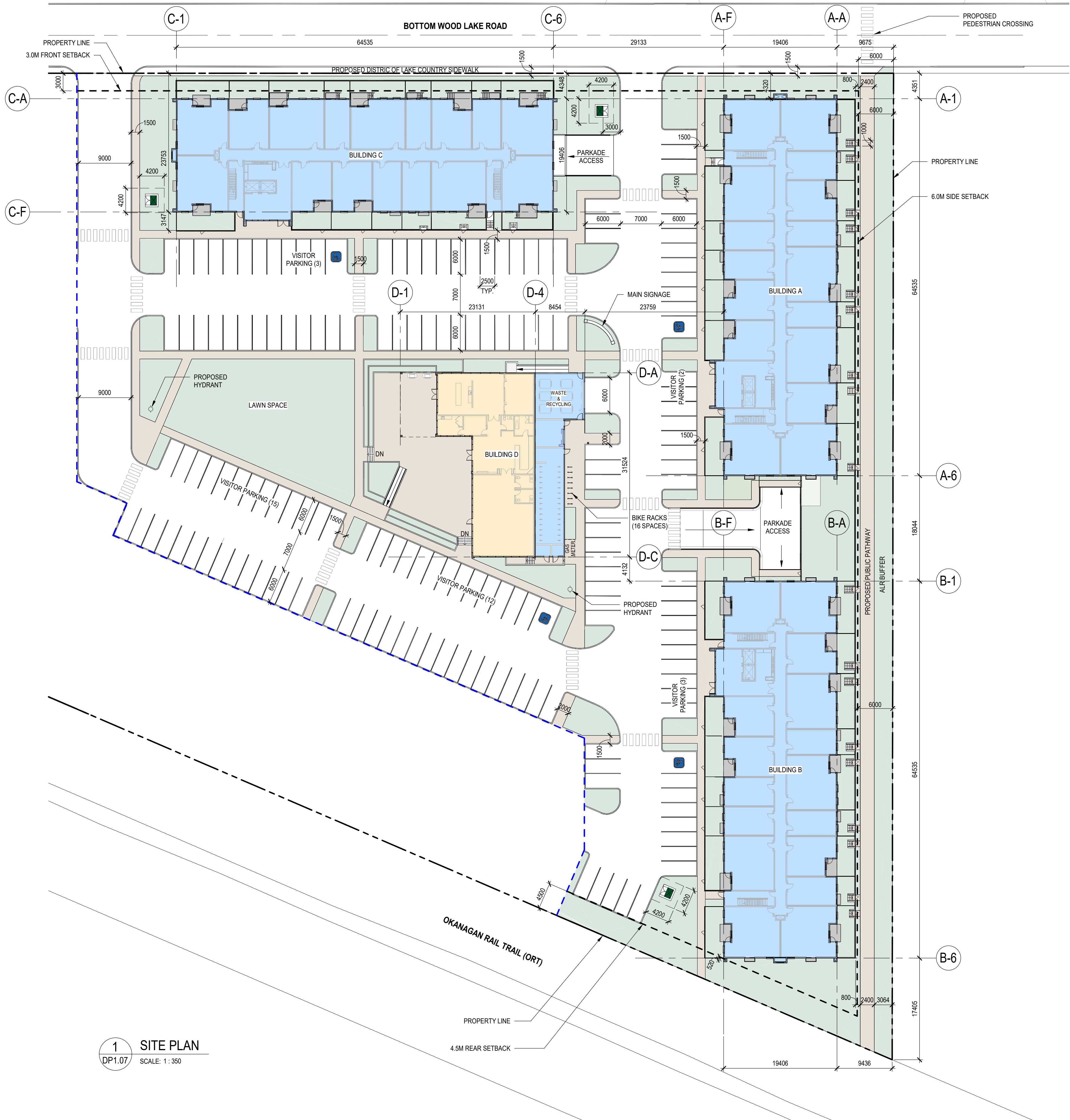
PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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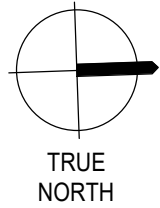
DP1.06



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1 SITE PLAN
DP1.07 SCALE: 1 : 350



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2	UPDATED DP SUBMISSION	2025-04-16
D	CLIENT REVIEW	2025-04-09
C	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03
B	COORDINATION	2025-03-02
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

SITE PLAN

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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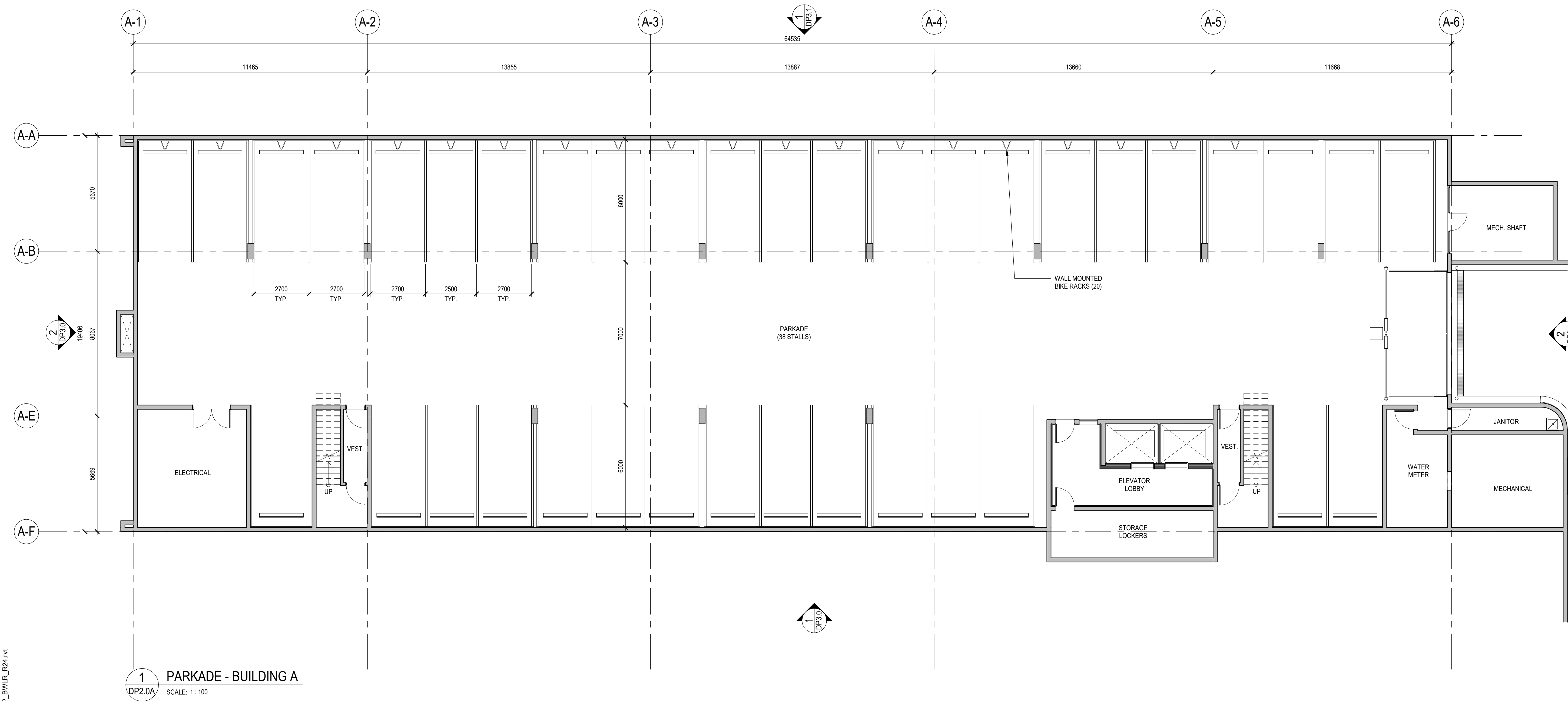
DP1.07

2



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2	UPDATED DP SUBMISSION	2025-04-16
A	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT
**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

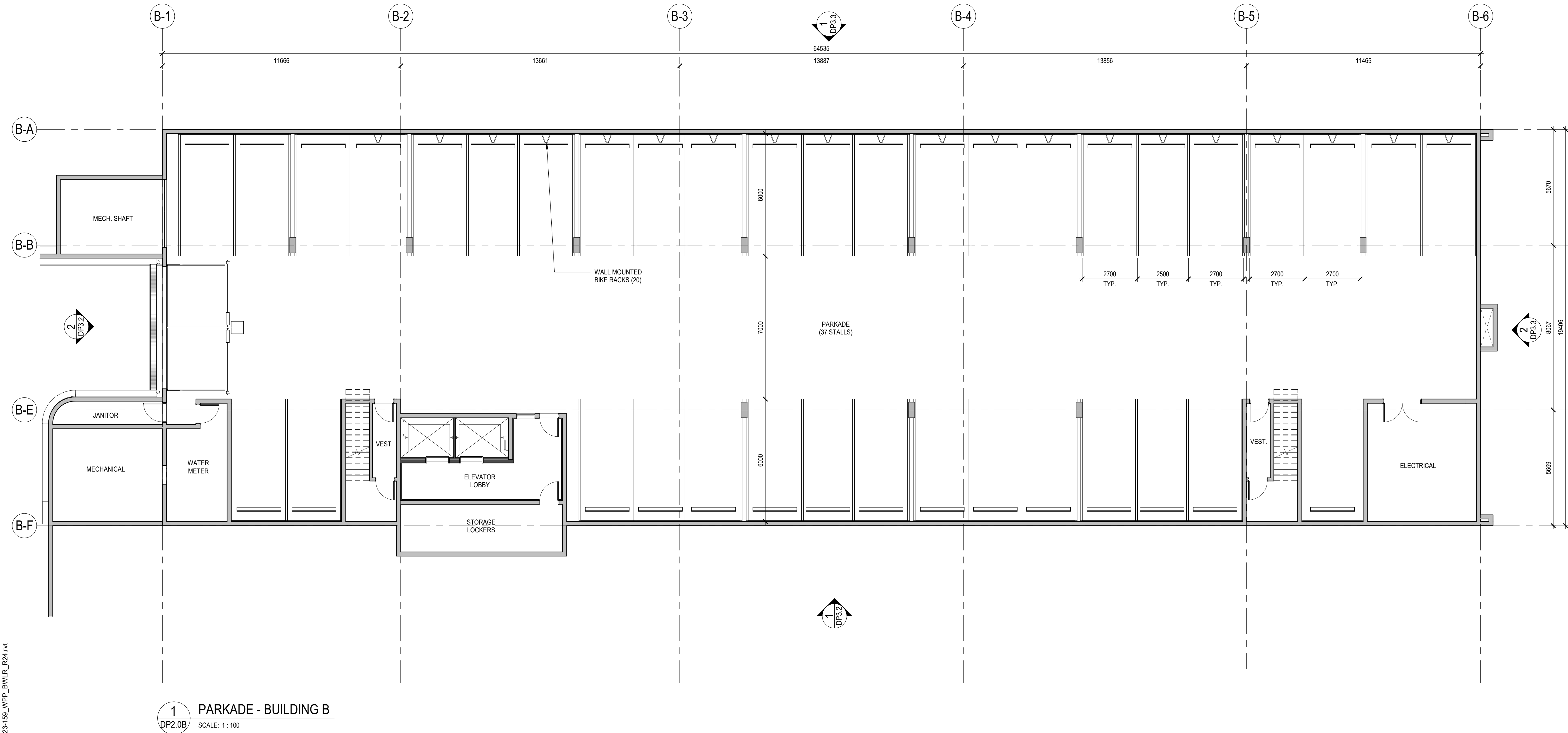
TITLE
**BUILDING A - FLOOR
PLAN - PARKADE**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

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DP2.0A





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2	UPDATED DP SUBMISSION	2025-04-16
A	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD LAKE ROAD

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING B - FLOOR PLAN - PARKADE

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP2.0B



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2	UPDATED DP SUBMISSION	2025-04-16
C	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03
B	COORDINATION	2025-03-02
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

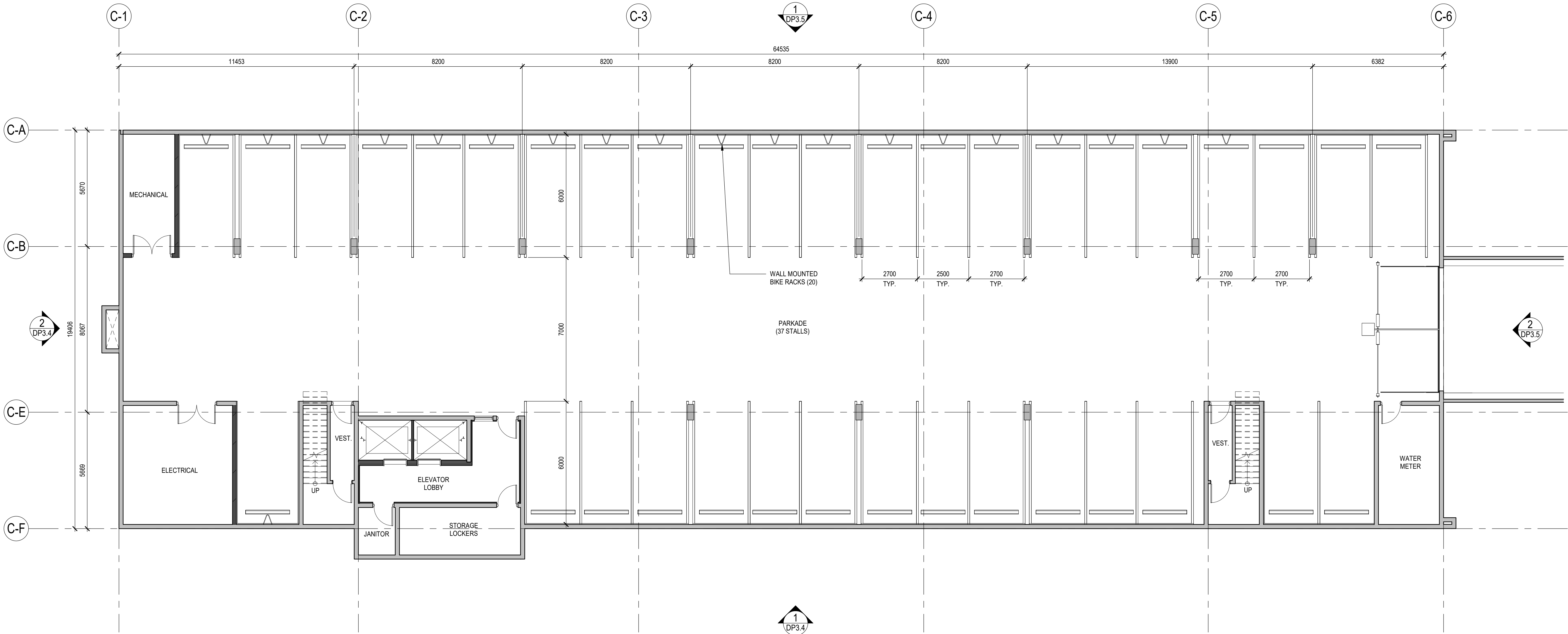
**BUILDING C - FLOOR
PLAN - PARKADE**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP2.0C

2



1
DP2.0C
PARKADE - BUILDING C
SCALE: 1:100

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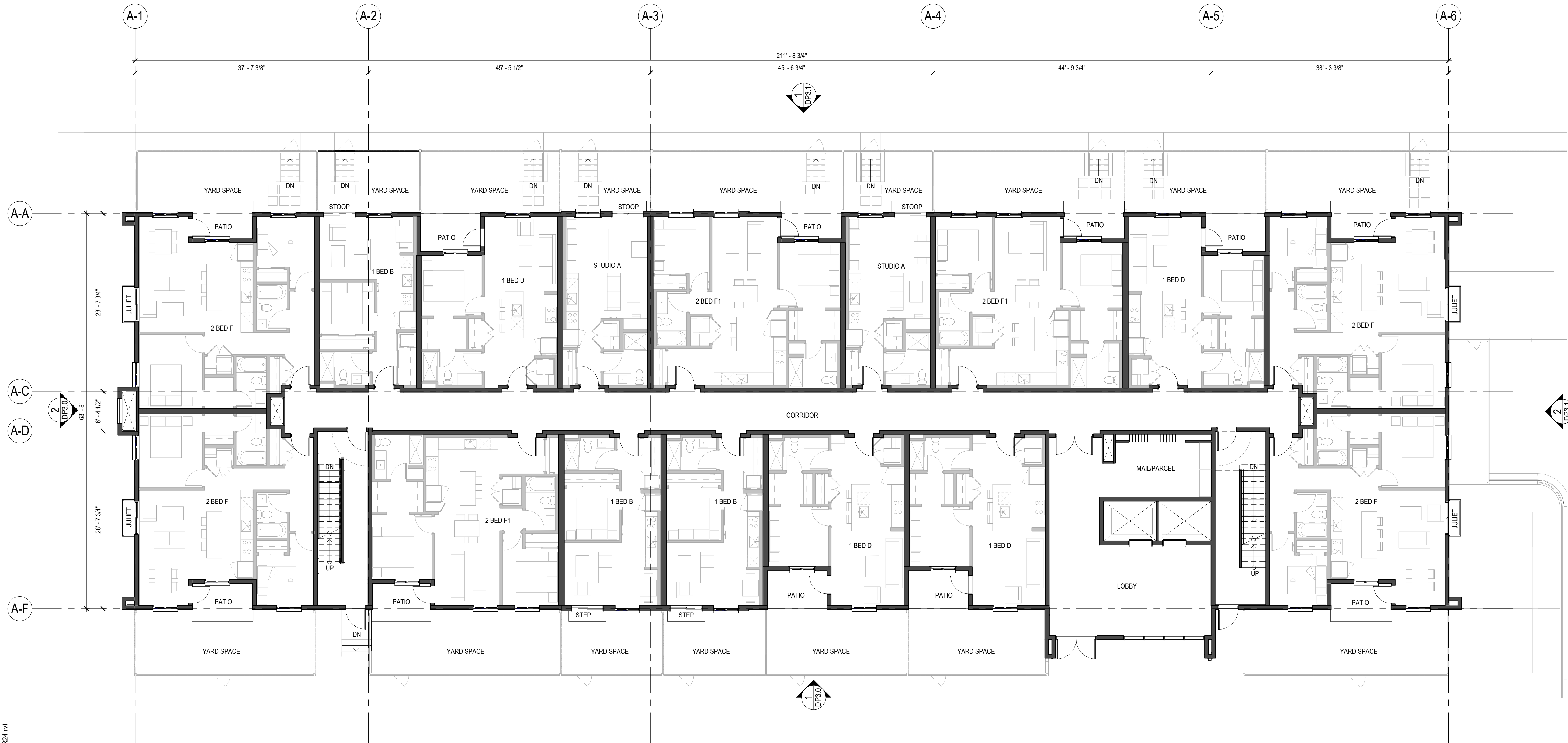
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1 LEVEL 1 FLOOR PLAN - BUILDING A
DP2.1A SCALE: 1:100

2	UPDATED DP SUBMISSION	2025-04-16
A	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03

NO.	ISSUE/ REVISION	DATE
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PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING A - FLOOR
PLAN - LEVEL1

PROJECT NO.	DRAWN	CHECKED
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DRAWING NO.	REVISION NO.
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DP2.1A

2

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Schedule A



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2	UPDATED DP SUBMISSION	2025-04-16
C	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03
B	COORDINATION	2025-03-02
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

**BUILDING B - FLOOR
PLAN - LEVEL 1**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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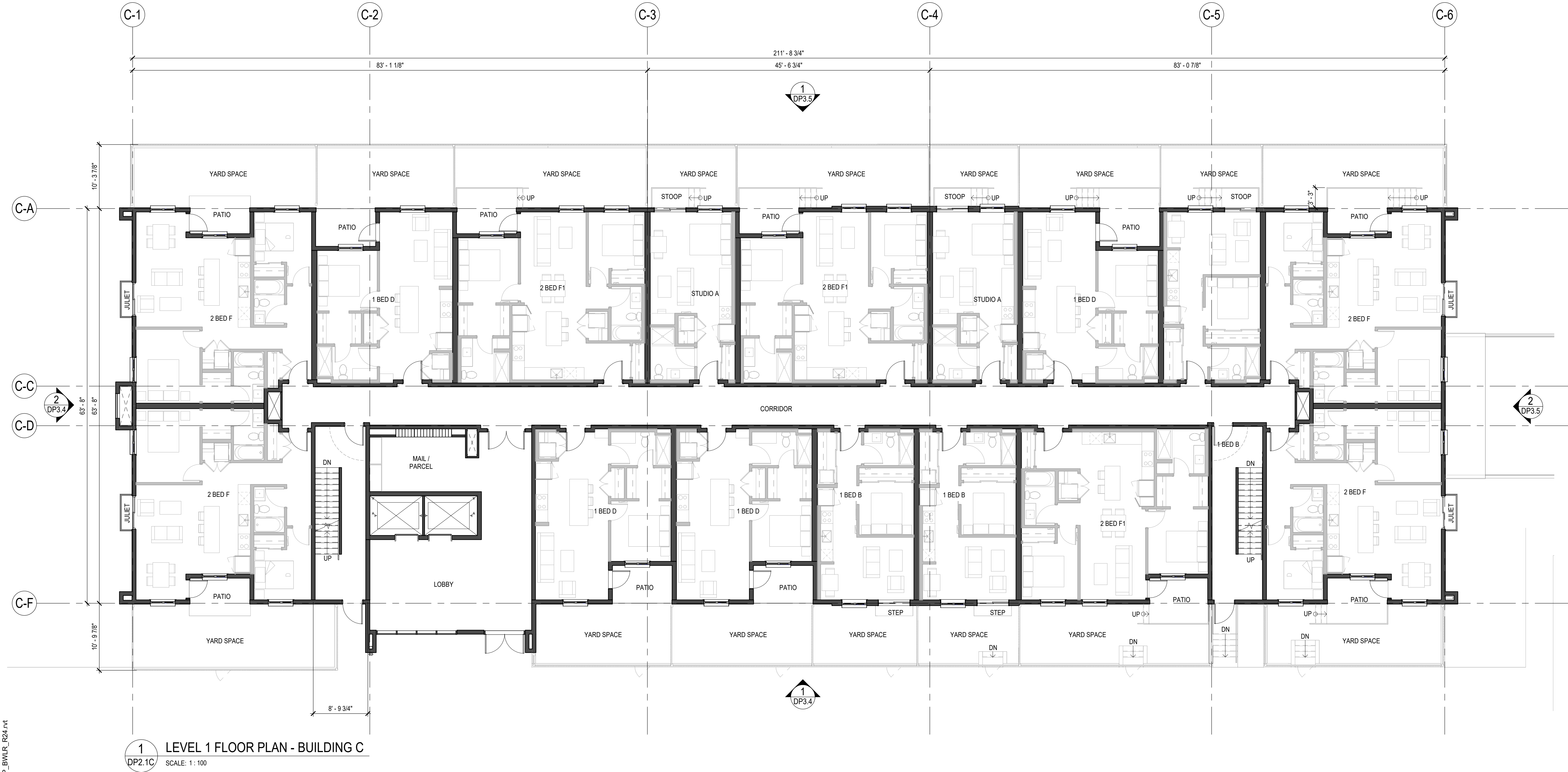
DP2.1B



1 LEVEL 1 FLOOR PLAN - BUILDING B
DP2.1B SCALE: 1:100

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2	UPDATED DP SUBMISSION	2025-04-16
C	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03
B	COORDINATION	2025-03-02
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

**BUILDING C - FLOOR
PLAN - LEVEL 1**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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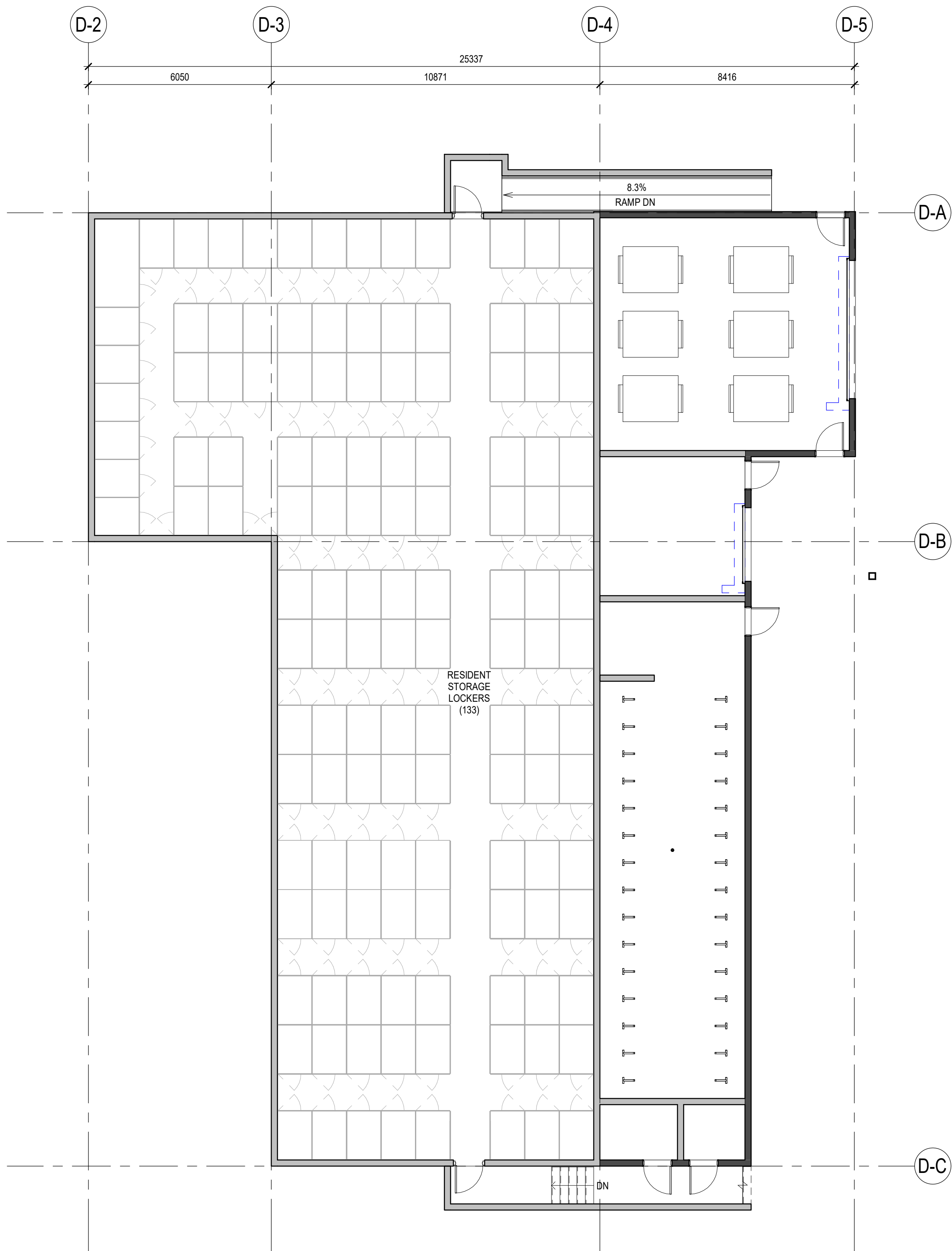
DP2.1C

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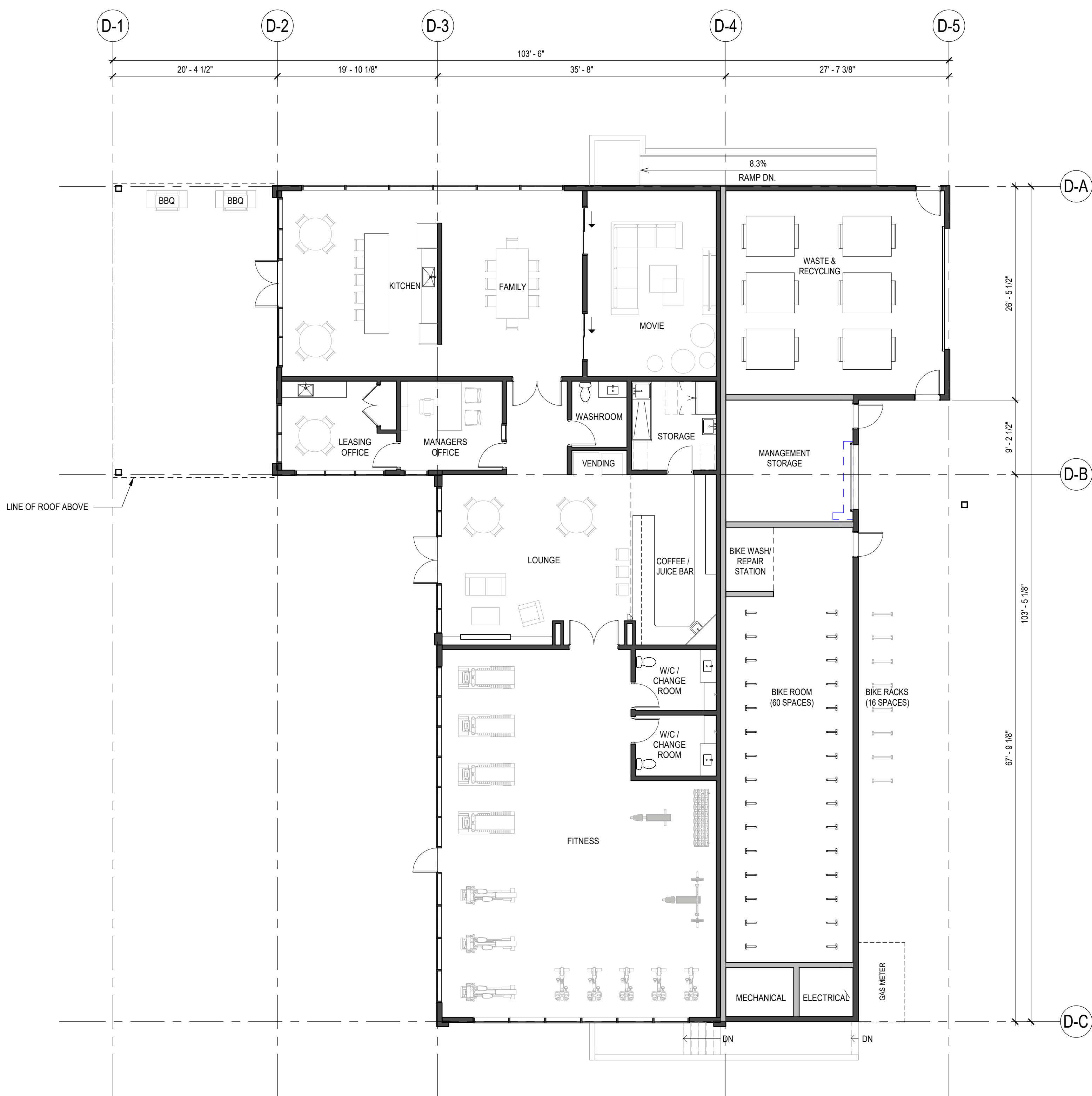
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2025-04-16 3:37:20 PM

Schedule A



2 BASEMENT FLOOR PLAN - BUILDING D
DP2.1D SCALE: 1 : 100



1 LEVEL 1 FLOOR PLAN - BUILDING D
DP2.1D SCALE: 1 : 100

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1	UPDATED DP SUBMISSION	2025-04-16
C	CLIENT REVIEW	2025-04-09
B	COORDINATION	2025-04-27
A	COORDINATION	2025-03-02

NO.	ISSUE/ REVISION	DATE
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PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

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LAKE COUNTRY, BC V4V 1S7

TITLE

**BUILDING D - FLOOR
PLANS**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP2.1D

1

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Schedule A



1 LEVEL 2-5 FLOOR PLAN - BUILDING A
DP2.2A SCALE: 1:100



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2	UPDATED DP SUBMISSION	2025-04-16
A	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

**BUILDING A - FLOOR
PLAN - LEVEL 2-5**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP2.2A



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2	UPDATED DP SUBMISSION	2025-04-16
C	COORDINATION	2025-04-27
1	DEVELOPMENT PERMIT	2025-03-03
B	COORDINATION	2025-03-02
A	PROGRESS SET	2025-02-04

NO.	ISSUE/ REVISION	DATE
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PROJECT

**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

**BUILDING B&C -
FLOOR PLAN - LEVEL
2-5**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP2.2B&C

2



1 LEVEL 2-5 FLOOR PLAN - BUILDINGS B & C
DP2.2B&C SCALE: 1:100

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PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING A -
ELEVATIONS

PROJECT NO.

223-159

DRAWN

Author

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DRAWING NO.

REVISION NO.

DP3.0

2



1 SOUTH ELEVATION - BUILDING A
DP3.0 SCALE: 1 : 125



2 WEST ELEVATION - BUILDING A
DP3.0 SCALE: 1 : 125

MATERIAL LEGEND					
1 FIBER CEMENT LAP SIDING - COLOUR: WHITE GRANITE (WOODTONE) JAMES HARDIE OR APPROVED EQUIVALENT		5 VINYL WINDOWS AND DOORS C/W CLEAR GLAZING - COLOUR: BLACK		9 FIBER CEMENT SHAKE PANEL - COLOUR: BLACK CANYON (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
2 BRICK VENEER (RUNNING BOND) - COLOUR: WHEAT MORTAR: NATURAL MUTUAL MATERIALS OR APPROVED EQUIVALENT		6 FENCE COLOUR: BLACK		10 FIBER CEMENT SHAKE PANEL - COLOUR: CASCADE SLATE (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
3 PREFINISHED METAL CLADDING - COLOUR: BLACK		7 EXPOSED CONCRETE ARCHITECTURAL FINISH		11 ASPHALT SHINGLES - COLOUR: BLACK	
4 PREFINISHED METAL CLADDING - COLOUR: GREY		8 ALUMINUM PICKET GUARD RAIL - COLOUR: BLACK		12 ASPHALT SHINGLES - COLOUR: GREY	
13 ALLAN BLOCK LANDSCAPE WALL		15 PREFINISHED FLASHING / CAP FLASHING - COLOUR: GREY			
14 PREFINISHED SECTIONAL OVERHEAD DOOR - COLOUR: GREY					

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PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING A -
ELEVATIONS

PROJECT NO. 223-159
DRAWN Author
CHECKED Checker

DRAWING NO. REVISION NO.

DP3.1

2



1 NORTH ELEVATION - BUILDING A
DP3.1 SCALE: 1 : 125



2 EAST ELEVATION - BUILDING A
DP3.1 SCALE: 1 : 125

MATERIAL LEGEND					
1 FIBER CEMENT LAP SIDING - COLOUR: WHITE GRANITE (WOODTONE) JAMES HARDIE OR APPROVED EQUIVALENT		5 VINYL WINDOWS AND DOORS C/W CLEAR GLAZING - COLOUR: BLACK		9 FIBER CEMENT SHAKE PANEL - COLOUR: BLACK CANYON (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
2 BRICK VENEER (RUNNING BOND) - COLOUR: WHEAT MORTAR: NATURAL MUTUAL MATERIALS OR APPROVED EQUIVALENT		6 FENCE COLOUR: BLACK		10 FIBER CEMENT SHAKE PANEL - COLOUR: CASCADE SLATE (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
3 PREFINISHED METAL CLADDING - COLOUR: BLACK		7 EXPOSED CONCRETE ARCHITECTURAL FINISH		11 ASPHALT SHINGLES - COLOUR: BLACK	
4 PREFINISHED METAL CLADDING - COLOUR: GREY		8 ALUMINUM PICKET GUARD RAIL - COLOUR: BLACK		12 ASPHALT SHINGLES - COLOUR: GREY	
13 ALLAN BLOCK LANDSCAPE WALL		15 PREFINISHED FLASHING / CAP FLASHING - COLOUR: GREY			
14 PREFINISHED SECTIONAL OVERHEAD DOOR - COLOUR: GREY					

NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING B -
ELEVATIONS

PROJECT NO. 223-159
DRAWN Author
CHECKED Checker

DRAWING NO. REVISION NO.

DP3.2

2



1 SOUTH ELEVATION - BUILDING B
DP3.2 SCALE: 1 : 125



2 WEST ELEVATION - BUILDING B
DP3.2 SCALE: 1 : 125

MATERIAL LEGEND					
1 FIBER CEMENT LAP SIDING - COLOUR: WHITE GRANITE (WOODTONE) JAMES HARDIE OR APPROVED EQUIVALENT		5 VINYL WINDOWS AND DOORS C/W CLEAR GLAZING - COLOUR: BLACK		9 FIBER CEMENT SHAKE PANEL - COLOUR: BLACK CANYON (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
2 BRICK VENEER (RUNNING BOND) - COLOUR: WHEAT MORTAR: NATURAL MUTUAL MATERIALS OR APPROVED EQUIVALENT		6 FENCE COLOUR: BLACK		10 FIBER CEMENT SHAKE PANEL - COLOUR: CASCADE SLATE (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
3 PREFINISHED METAL CLADDING - COLOUR: BLACK		7 EXPOSED CONCRETE ARCHITECTURAL FINISH		11 ASPHALT SHINGLES - COLOUR: BLACK	
4 PREFINISHED METAL CLADDING - COLOUR: GREY		8 ALUMINUM PICKET GUARD RAIL - COLOUR: BLACK		12 ASPHALT SHINGLES - COLOUR: GREY	
13 ALLAN BLOCK LANDSCAPE WALL		15 PREFINISHED FLASHING / CAP FLASHING - COLOUR: GREY			
14 PREFINISHED SECTIONAL OVERHEAD DOOR - COLOUR: GREY					

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PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING B -
ELEVATIONS

PROJECT NO. 223-159
DRAWN Author
CHECKED Checker

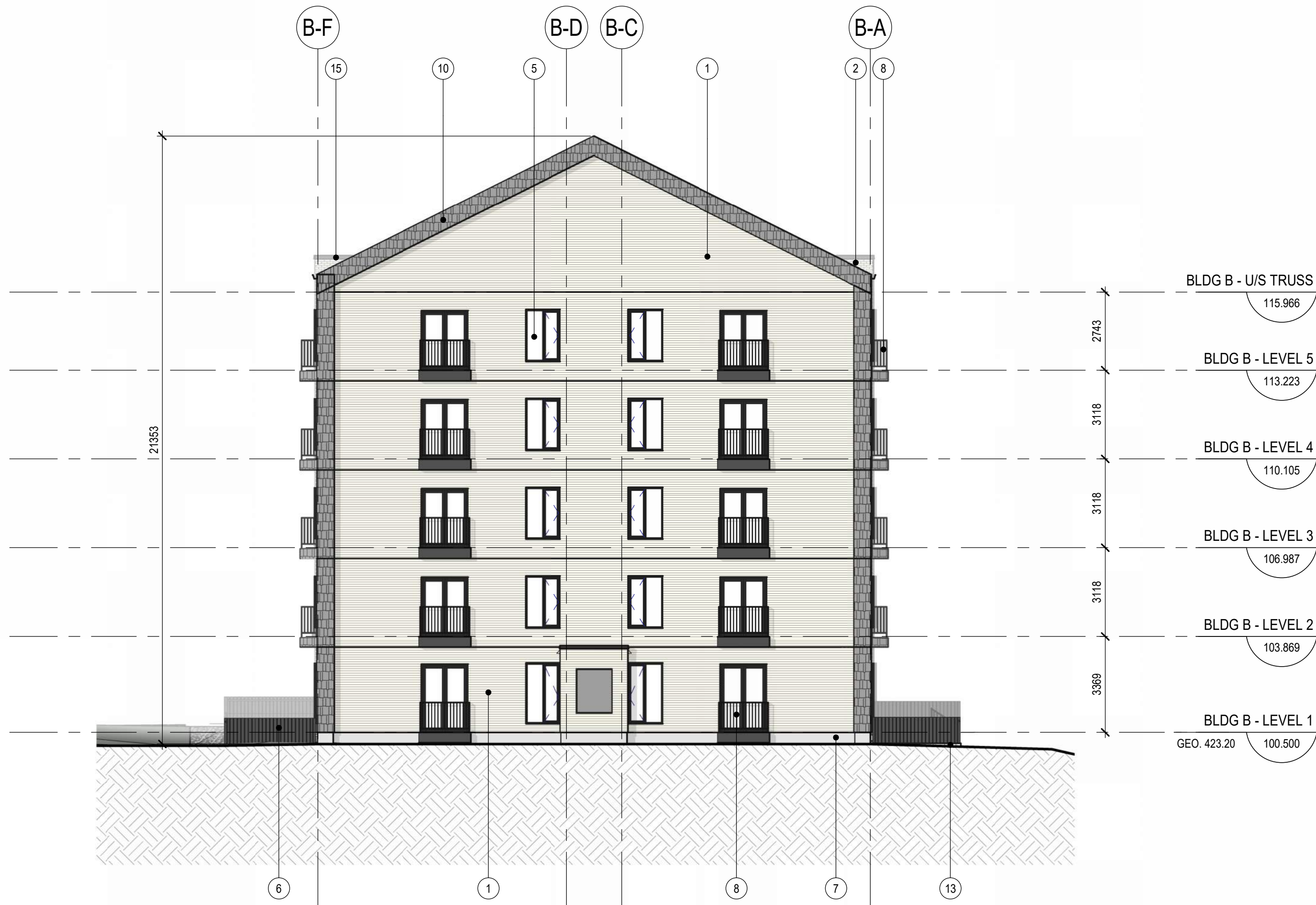
DRAWING NO. REVISION NO.

DP3.3

2



1 NORTH ELEVATION - BUILDING B
DP3.3 SCALE: 1 : 125



2 EAST ELEVATION - BUILDING B
DP3.3 SCALE: 1 : 125

MATERIAL LEGEND					
1 FIBER CEMENT LAP SIDING - COLOUR: WHITE GRANITE (WOODTONE) JAMES HARDIE OR APPROVED EQUIVALENT		5 VINYL WINDOWS AND DOORS C/W CLEAR GLAZING - COLOUR: BLACK		9 FIBER CEMENT SHAKE PANEL - COLOUR: BLACK CANYON (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
2 BRICK VENEER (RUNNING BOND) - COLOUR: WHEAT MORTAR: NATURAL MUTUAL MATERIALS OR APPROVED EQUIVALENT		6 FENCE COLOUR: BLACK		10 FIBER CEMENT SHAKE PANEL - COLOUR: CASCADE SLATE (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
3 PREFINISHED METAL CLADDING - COLOUR: BLACK		7 EXPOSED CONCRETE ARCHITECTURAL FINISH		11 ASPHALT SHINGLES - COLOUR: BLACK	
4 PREFINISHED METAL CLADDING - COLOUR: GREY		8 ALUMINUM PICKET GUARD RAIL - COLOUR: BLACK		12 ASPHALT SHINGLES - COLOUR: GREY	
13 ALLAN BLOCK LANDSCAPE WALL		15 PREFINISHED FLASHING / CAP FLASHING - COLOUR: GREY			
14 PREFINISHED SECTIONAL OVERHEAD DOOR - COLOUR: GREY					

NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING C -
ELEVATIONS

PROJECT NO. 223-159
DRAWN Author
CHECKED Checker

DRAWING NO. REVISION NO.

DP3.4 2



MATERIAL LEGEND					
1 FIBER CEMENT LAP SIDING - COLOUR: WHITE GRANITE (WOODTONE) JAMES HARDIE OR APPROVED EQUIVALENT		5 VINYL WINDOWS AND DOORS C/W CLEAR GLAZING - COLOUR: BLACK		9 FIBER CEMENT SHAKE PANEL - COLOUR: BLACK CANYON (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
2 BRICK VENEER (RUNNING BOND) - COLOUR: WHEAT MORTAR: NATURAL MUTUAL MATERIALS OR APPROVED EQUIVALENT		6 FENCE COLOUR: BLACK		10 FIBER CEMENT SHAKE PANEL - COLOUR: CASCADE SLATE (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
3 PREFINISHED METAL CLADDING - COLOUR: BLACK		7 EXPOSED CONCRETE ARCHITECTURAL FINISH		11 ASPHALT SHINGLES - COLOUR: BLACK	
4 PREFINISHED METAL CLADDING - COLOUR: GREY		8 ALUMINUM PICKET GUARD RAIL - COLOUR: BLACK		12 ASPHALT SHINGLES - COLOUR: GREY	
13 ALLAN BLOCK LANDSCAPE WALL		15 PREFINISHED FLASHING / CAP FLASHING - COLOUR: GREY			
14 PREFINISHED SECTIONAL OVERHEAD DOOR - COLOUR: GREY					

NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE

BUILDING C -
ELEVATIONS

PROJECT NO. 223-159
DRAWN Author
CHECKED Checker

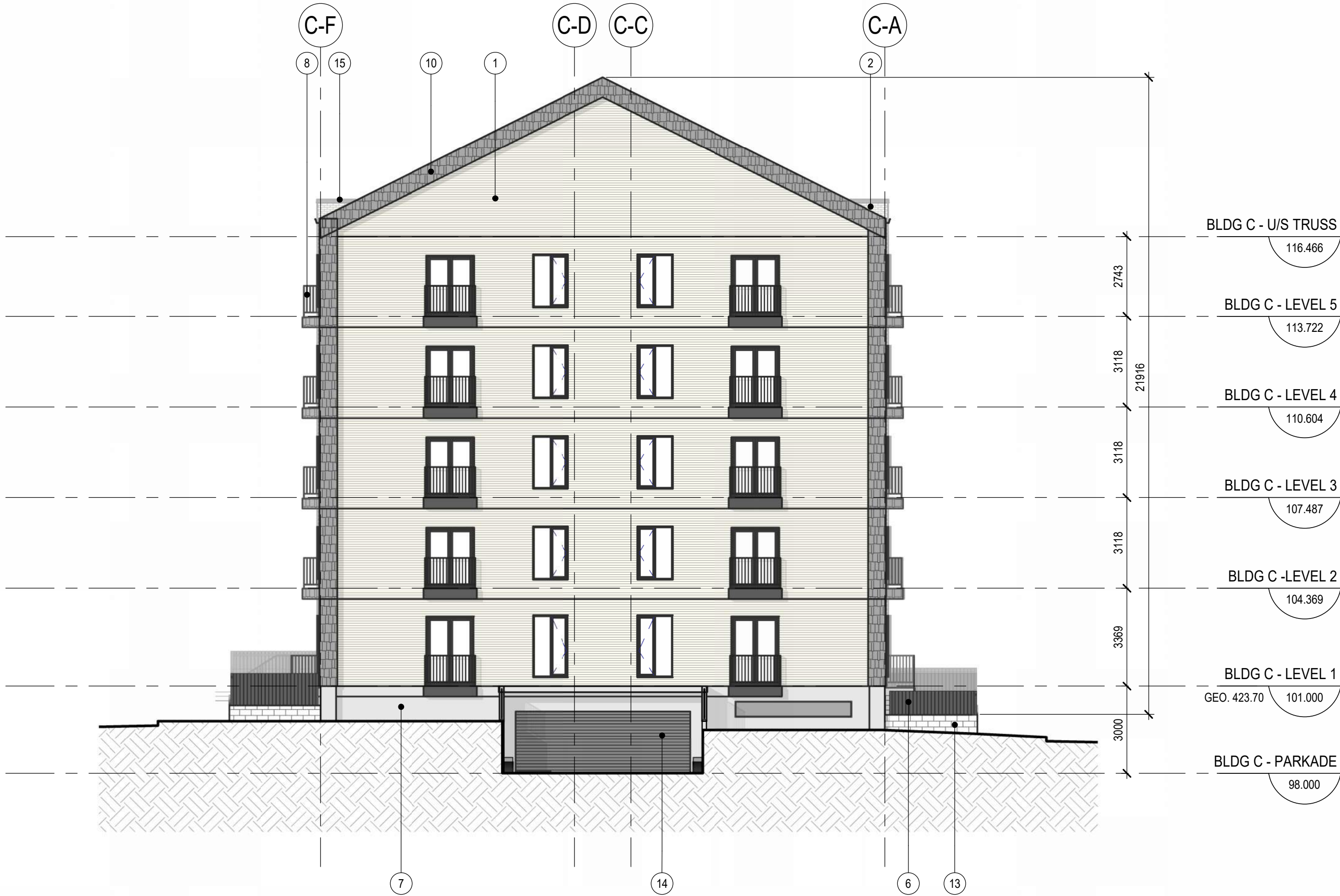
DRAWING NO. REVISION NO.

DP3.5

2



1 WEST ELEVATION - BUILDING C
DP3.5 SCALE: 1 : 125



2 NORTH ELEVATION - BUILDING C
DP3.5 SCALE: 1 : 125

MATERIAL LEGEND					
1 FIBER CEMENT LAP SIDING - COLOUR: WHITE GRANITE (WOODTONE) JAMES HARDIE OR APPROVED EQUIVALENT		5 VINYL WINDOWS AND DOORS C/W CLEAR GLAZING - COLOUR: BLACK		9 FIBER CEMENT SHAKE PANEL - COLOUR: BLACK CANYON (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
2 BRICK VENEER (RUNNING BOND) - COLOUR: WHEAT MORTAR: NATURAL MUTUAL MATERIALS OR APPROVED EQUIVALENT		6 FENCE COLOUR: BLACK		10 FIBER CEMENT SHAKE PANEL - COLOUR: CASCADE SLATE (WOODTONE) TYPE: STRAIGHT EDGE JAMES HARDIE OR APPROVED EQUIVALENT	
3 PREFINISHED METAL CLADDING - COLOUR: BLACK		7 EXPOSED CONCRETE ARCHITECTURAL FINISH		11 ASPHALT SHINGLES - COLOUR: BLACK	
4 PREFINISHED METAL CLADDING - COLOUR: GREY		8 ALUMINUM PICKET GUARD RAIL - COLOUR: BLACK		12 ASPHALT SHINGLES - COLOUR: GREY	
13 ALLAN BLOCK LANDSCAPE WALL		15 PREFINISHED FLASHING / CAP FLASHING - COLOUR: GREY			
14 PREFINISHED SECTIONAL OVERHEAD DOOR - COLOUR: GREY					

Zeidler Architecture

300, 640 – 8 Avenue SW
Calgary, Alberta T2P 1G7
T 403 233 2525 | zeidler.com



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1	UPDATED DP SUBMISSION	2025-04-16
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD
LAKE ROAD

PROJECT ADDRESS

9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

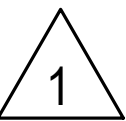
TITLE

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RENDERINGS

PROJECT NO.	DRAWN	CHECKED
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DRAWING NO.	REVISION NO.
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DP3.6



BIRD'S-EYE VIEW OF OVERALL DEVELOPMENT

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PROJECT
**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS
9751 BOTTOM LAKE ROAD
LAKE COUNTRY, BC V4V 1S7

TITLE
**CONCEPTUAL
RENDERINGS**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP3.7



ENTRANCE (BUILDING C)

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PROJECT
**9751 BOTTOM WOOD
LAKE ROAD**

PROJECT ADDRESS
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LAKE COUNTRY, BC V4V 1S7

TITLE
**CONCEPTUAL
RENDERINGS**

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DRAWING NO.	REVISION NO.
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DP3.8



PERSPECTIVE VIEW (BUILDING A, BUILDING C AND AMENITY BUILDING)

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NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT
9751 BOTTOM WOOD LAKE ROAD

PROJECT ADDRESS
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LAKE COUNTRY, BC V4V 1S7

TITLE
CONCEPTUAL RENDERINGS

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223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP3.9



STREETVIEW FROM INTERNAL WALKWAY (BUILDING C & BUILDING A)

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PROJECT
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LAKE ROAD**

PROJECT ADDRESS
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LAKE COUNTRY, BC V4V 1S7

TITLE
**CONCEPTUAL
RENDERINGS**

PROJECT NO.	DRAWN	CHECKED
223-159	Author	Checker

DRAWING NO.	REVISION NO.
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DP3.10



FRONT ELEVATION (BUILDING C)

ISSUED FOR DEVELOPMENT PERMIT - LOT 1
9751 BOTTOM WOOD LAKE ROAD
MULTI-FAMILY RESIDENTIAL DEVELOPMENT



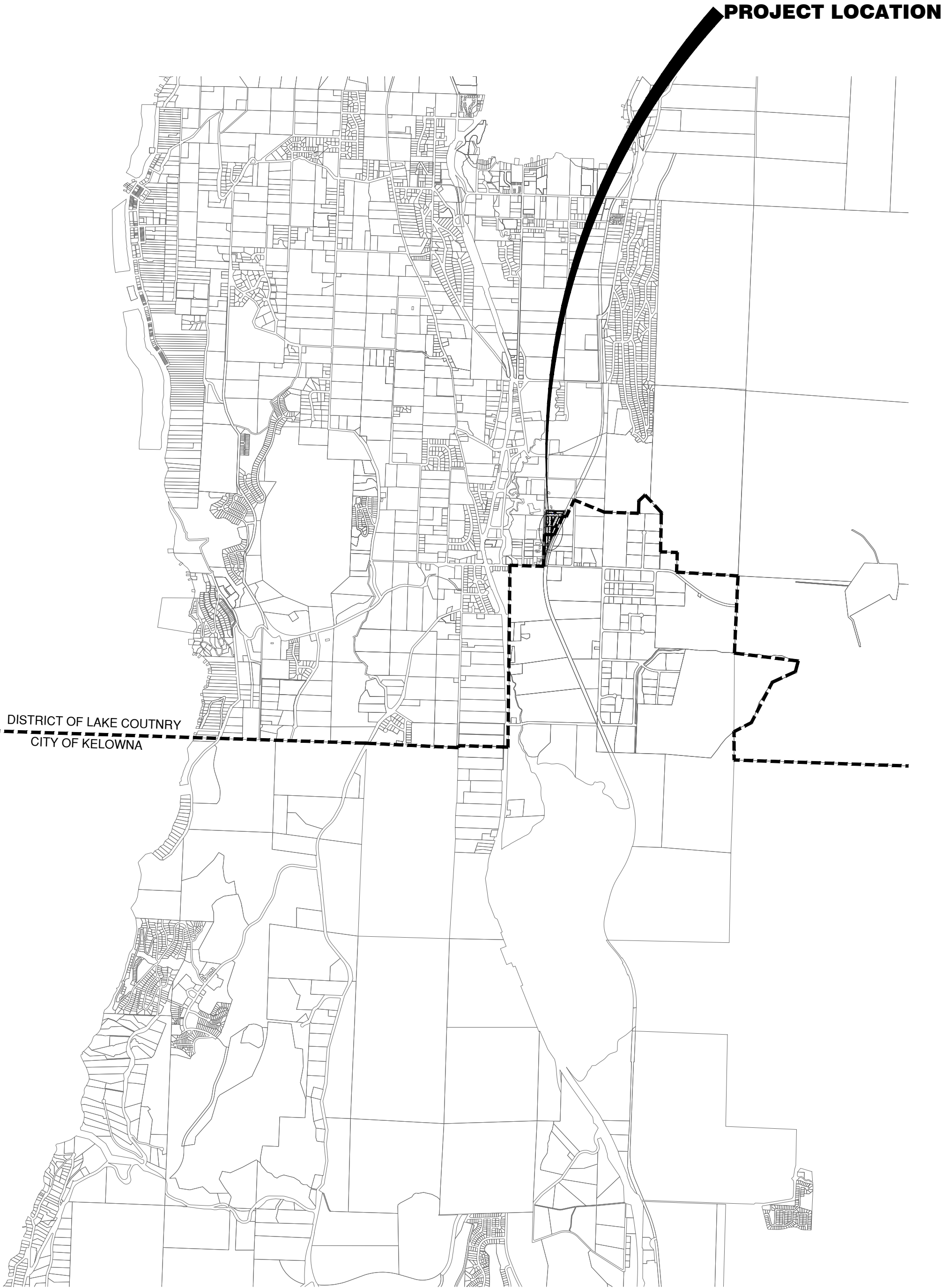
McElhanney

2281 Hunter Road,
Kelowna BC V1X 7C5
Tel. 250 861 8783

MARCH 2025

INDEX OF DRAWING SHEETS

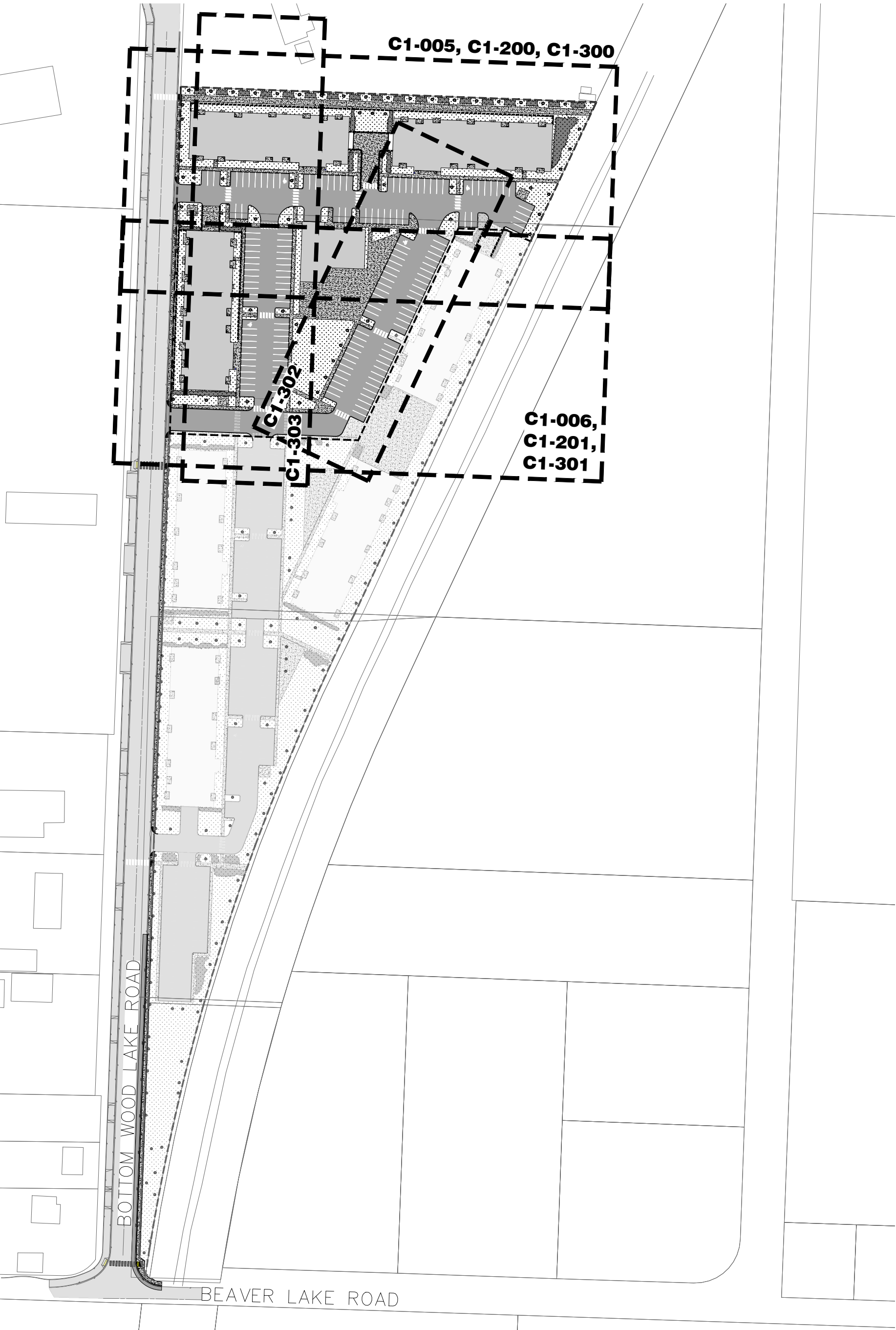
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C1-006	EROSION & SEDIMENT CONTROL PLAN
C1-100	ON-SITE GRADING PLAN
C1-101	ON-SITE GRADING PLAN
C1-300	ON-SITE SERVICING PLAN & PROFILE
C1-301	ON-SITE SERVICING PLAN & PROFILE
C1-302	ON-SITE SERVICING PLAN & PROFILE
C1-303	ON-SITE SERVICING PLAN & PROFILE



LOCATION MAP

N.T.S.

DISTRICT OF LAKE COUNTRY PROJECT NO. TBD

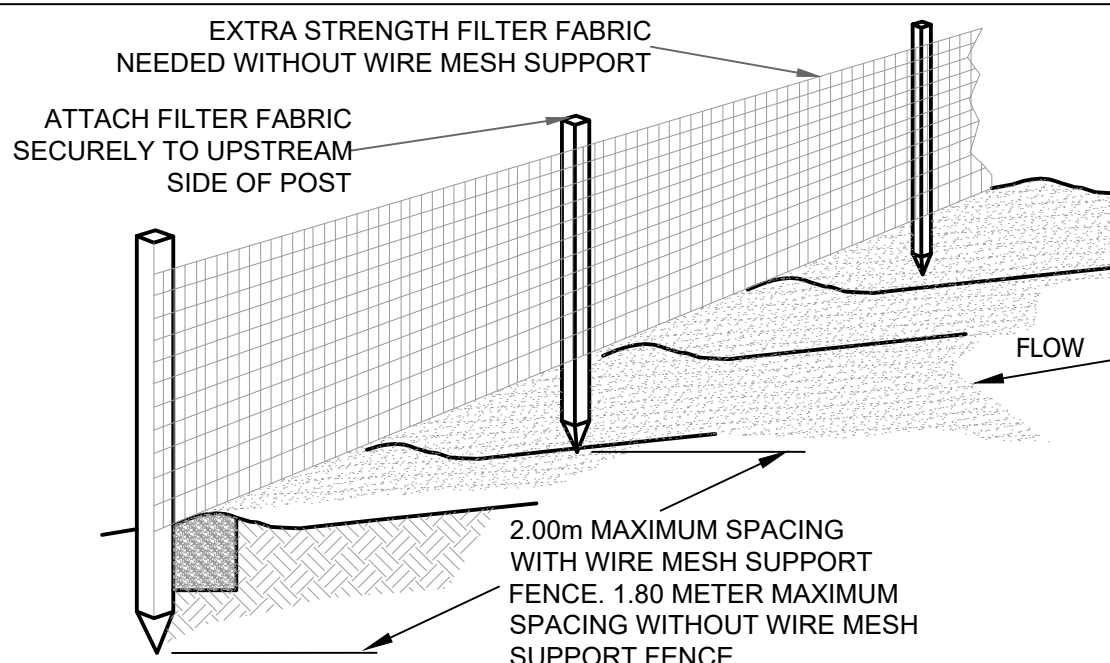


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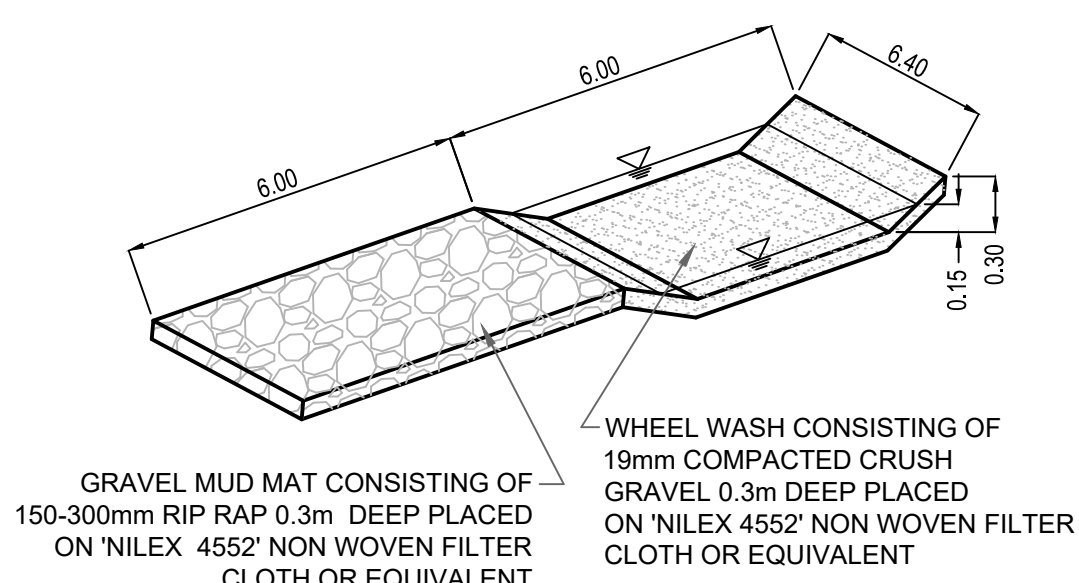
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DISTRICT OF LAKE COUNTRY DWG NO. TBD

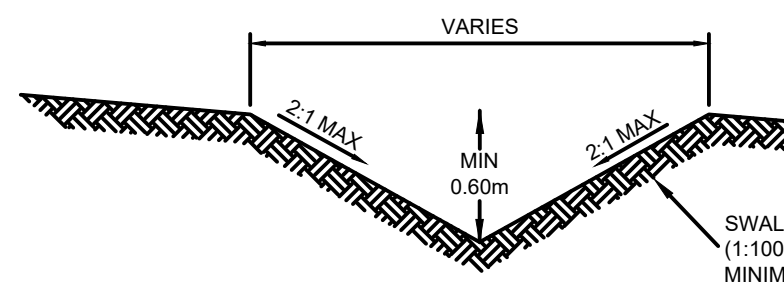
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2. PROVISIONAL EROSION AND SEDIMENT CONTROL MEASURES TO BE MADE AVAILABLE IMMEDIATELY AS/WHEN DIRECTED BY THE ENGINEER.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES & BEST MANAGEMENT PRACTICES FOR ON SITE WORKS SHALL CONFORM WITH THE DISTRICT OF LAKE COUNTRY SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 1121, SCHEDULE M.8.1.
4. CONTRACTOR TO USE BEST CONSTRUCTION MANAGEMENT TECHNIQUES WITH REGARD TO STORMWATER RUNOFF. NO SILT LADEN WATERS SHALL BE ALLOWED TO LEAVE THE CONSTRUCTION SITE, OR TO ENTER ANY WATERCOURSE PER FEDERAL FISHERIES ACT PROVISIONS.
5. CONTRACTOR TO PROVIDE TEMPORARY OR PERMANENT COVER TO DISTURBED OR ERODIBLE SURFACES TO MITIGATE THE RISK OF EROSION BY WATER (E.G. RAINSPASH AND RUNOFF) AND THE GENERATION OF SEDIMENT.



SILT FENCE AND FENCING BAFFLE DETAIL
N.T.S.














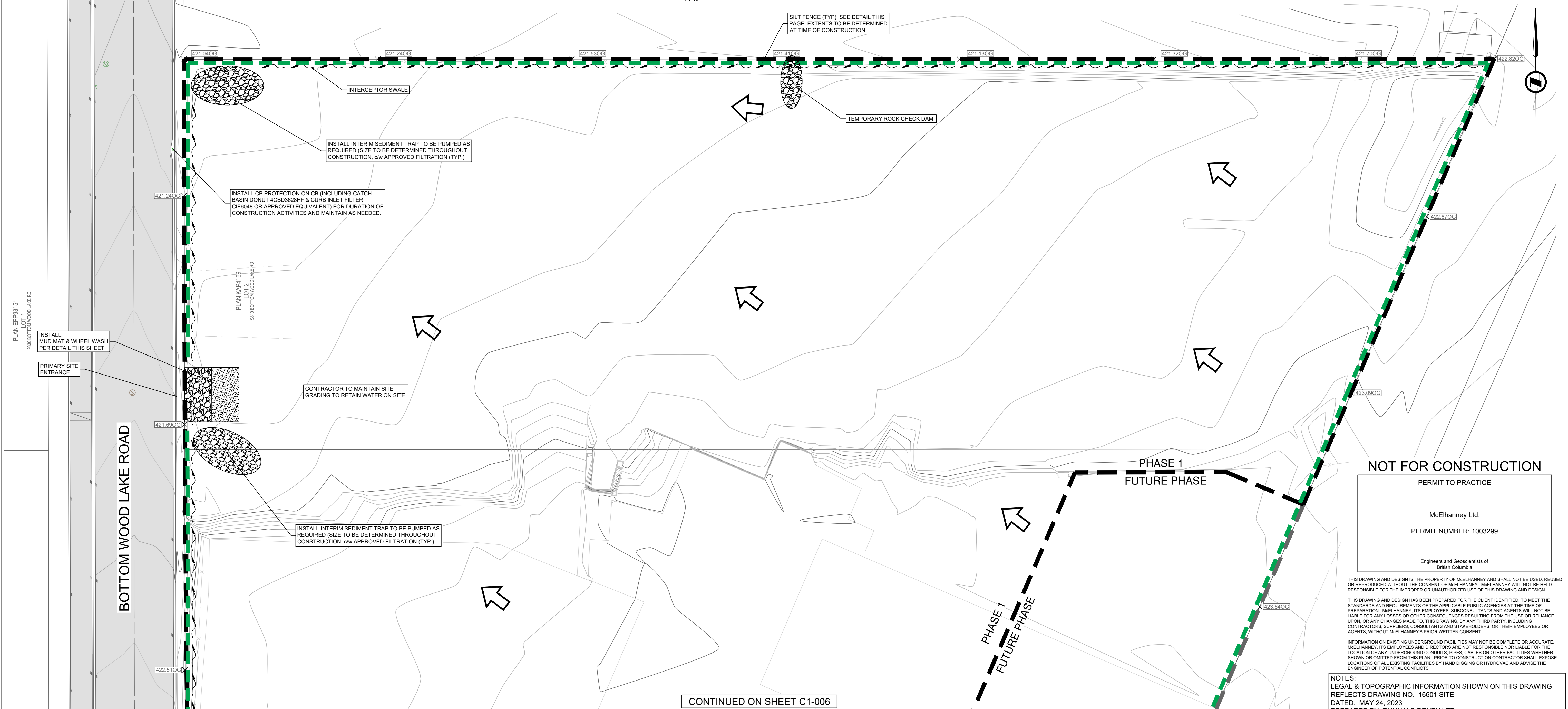
MUD MAT AND WHEEL WASH DETAIL
N.T.S



INTERCEPTOR SWALE DETAIL
N.T.S.

LEGEND

EXISTING	PROPOSED
 <div style="text-align: right; padding-right: 10px;">EDGE OF P/V MNT</div>	 <div style="text-align: right; padding-right: 10px;">EDGE OF P/V MNT</div>
 <div style="text-align: right; padding-right: 10px;">CURB & GUTTER</div>	 <div style="text-align: right; padding-right: 10px;">CURB & GUTTER</div>
 <div style="text-align: right; padding-right: 10px;">SIDEWALK</div>	 <div style="text-align: right; padding-right: 10px;">SIDEWALK</div>
 <div style="text-align: right; padding-right: 10px;">TOP OF BANK</div>	 <div style="text-align: right; padding-right: 10px;">TEMPORARY ROCK PIT</div>
	 <div style="text-align: right; padding-right: 10px;">SILT FENCE</div>
	 <div style="text-align: right; padding-right: 10px;">SWALE</div>
	 <div style="text-align: right; padding-right: 10px;">GENERAL DRAINAGE PATTERN</div>

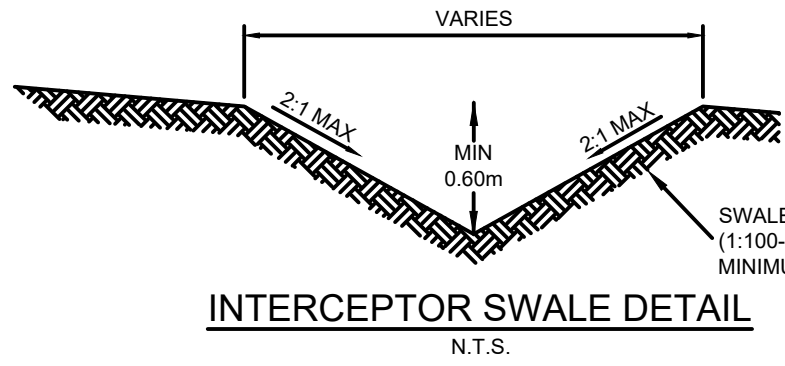
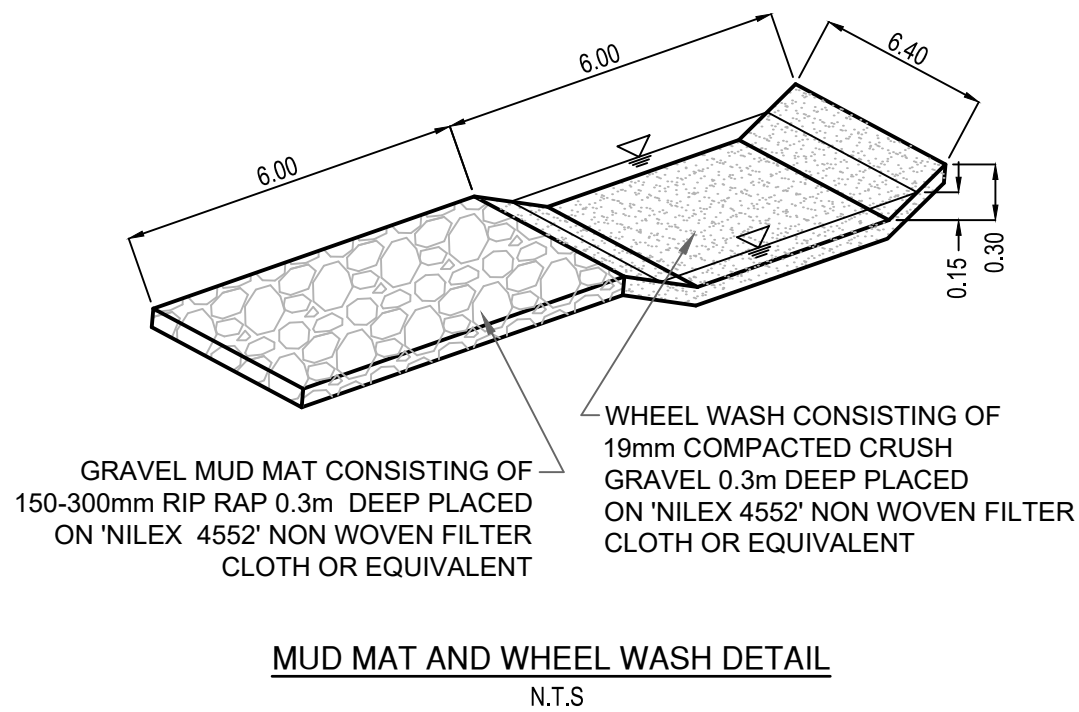
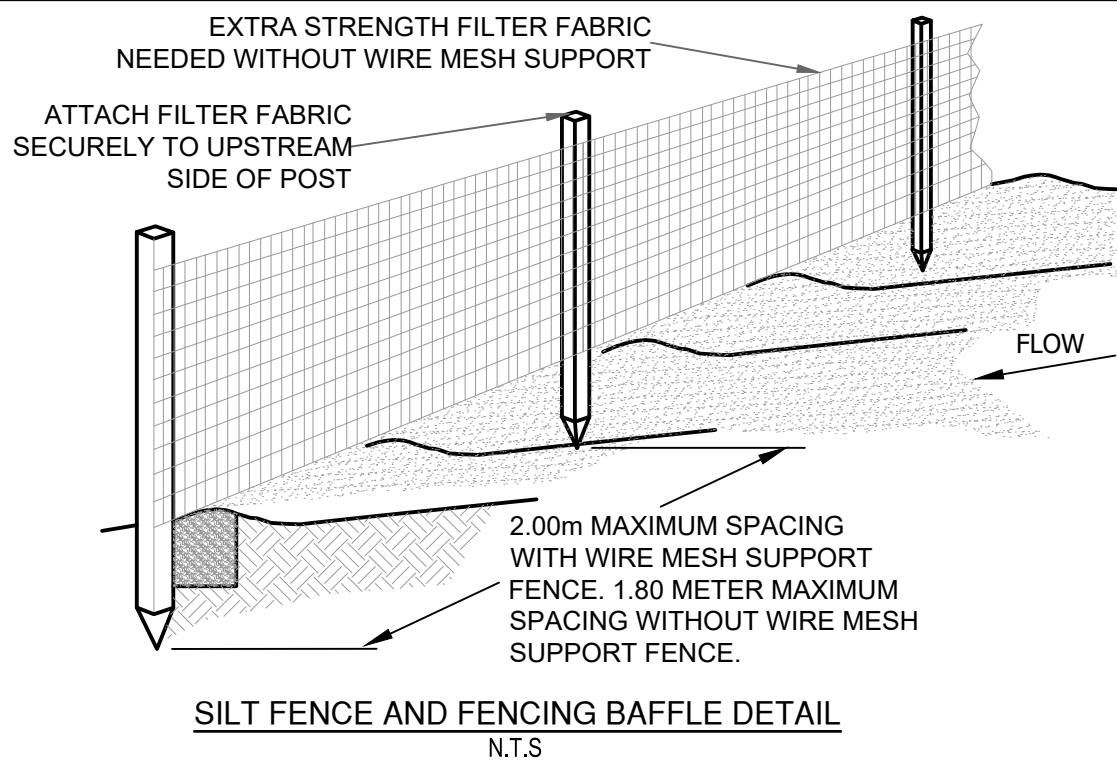
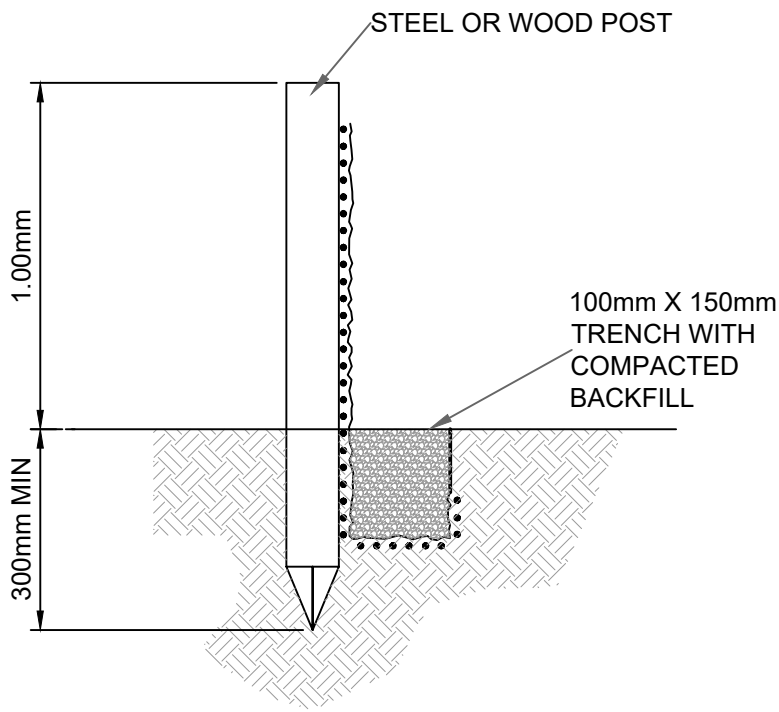


CONTINUED ON SHEET C1-006

[illegible]

SEDIMENT AND EROSION CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED/CONSTRUCTED PRIOR TO COMMENCING OTHER WORKS.
2. PROVISIONAL EROSION AND SEDIMENT CONTROL MEASURES TO BE MADE AVAILABLE IMMEDIATELY AS/WHEN DIRECTED BY THE ENGINEER.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES & BEST MANAGEMENT PRACTICES FOR ONSITE WORKS SHALL CONFORM WITH THE DISTRICT OF LAKE COUNTRY SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 1121, SCHEDULE M.8.1.
4. CONTRACTOR TO USE BEST CONSTRUCTION MANAGEMENT TECHNIQUES WITH REGARD TO STORMWATER RUNOFF. NO SILT LADEN WATERS SHALL BE ALLOWED TO LEAVE THE CONSTRUCTION SITE, OR TO ENTER ANY WATERCOURSE PER FEDERAL FISHERIES ACT PROVISIONS.
5. CONTRACTOR TO PROVIDE TEMPORARY OR PERMANENT COVER TO DISTURBED OR ERODIBLE SURFACES TO MITIGATE THE RISK OF EROSION BY WATER (E.G. RAINSPASH AND RUNOFF) AND THE GENERATION OF SEDIMENT.



LEGEND

EXISTING	PROPOSED
EDGE OF PAVMT	EDGE OF PAVMT
CURB & GUTTER	CURB & GUTTER
SIDEWALK	SIDEWALK
TOP OF BANK	TEMPORARY ROCK FIT
	SILT FENCE
	SWALE
	GENERAL DRAINAGE PATTERN

CONTINUED ON SHEET C1-005

BOTTOM WOOD LAKE ROAD

INSTALL CB PROTECTION ON CB (INCLUDING CATCH BASIN DONUT 40B03698HF & CURB INLET FILTER CIF6048 OR APPROVED EQUIVALENT) FOR DURATION OF CONSTRUCTION ACTIVITIES AND MAINTAIN AS NEEDED

INTERCEPTOR SWALE

SILT FENCE (TYP). SEE DETAIL THIS PAGE. EXTENTS TO BE DETERMINED AT TIME OF CONSTRUCTION.

CONTRACTOR TO MAINTAIN SITE GRADING TO RETAIN WATER ON SITE.

PLAN KAP457
9751 BOTTOM WOOD LAKE RD

PHASE 1
FUTURE PHASE

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McElhanney Ltd.

PERMIT NUMBER: 1003299

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DATED: MAY 24, 2023
PREPARED BY: RUNNALS DENBY LTD.

CONSULTANT
McElhanney
2281 Hunter Road,
Kelowna BC V1X 7C5
Tel. 250 861 8783

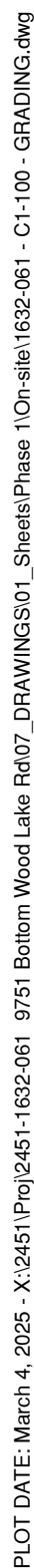
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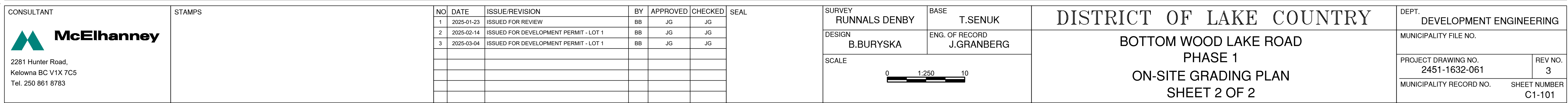
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DESIGN B.BURYSKA	ENG. OF RECORD J.GRANBERG
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DISTRICT OF LAKE COUNTRY
BOTTOM WOOD LAKE ROAD
PHASE 1
EROSION & SEDIMENT CONTROL PLAN
SHEET 2 OF 2

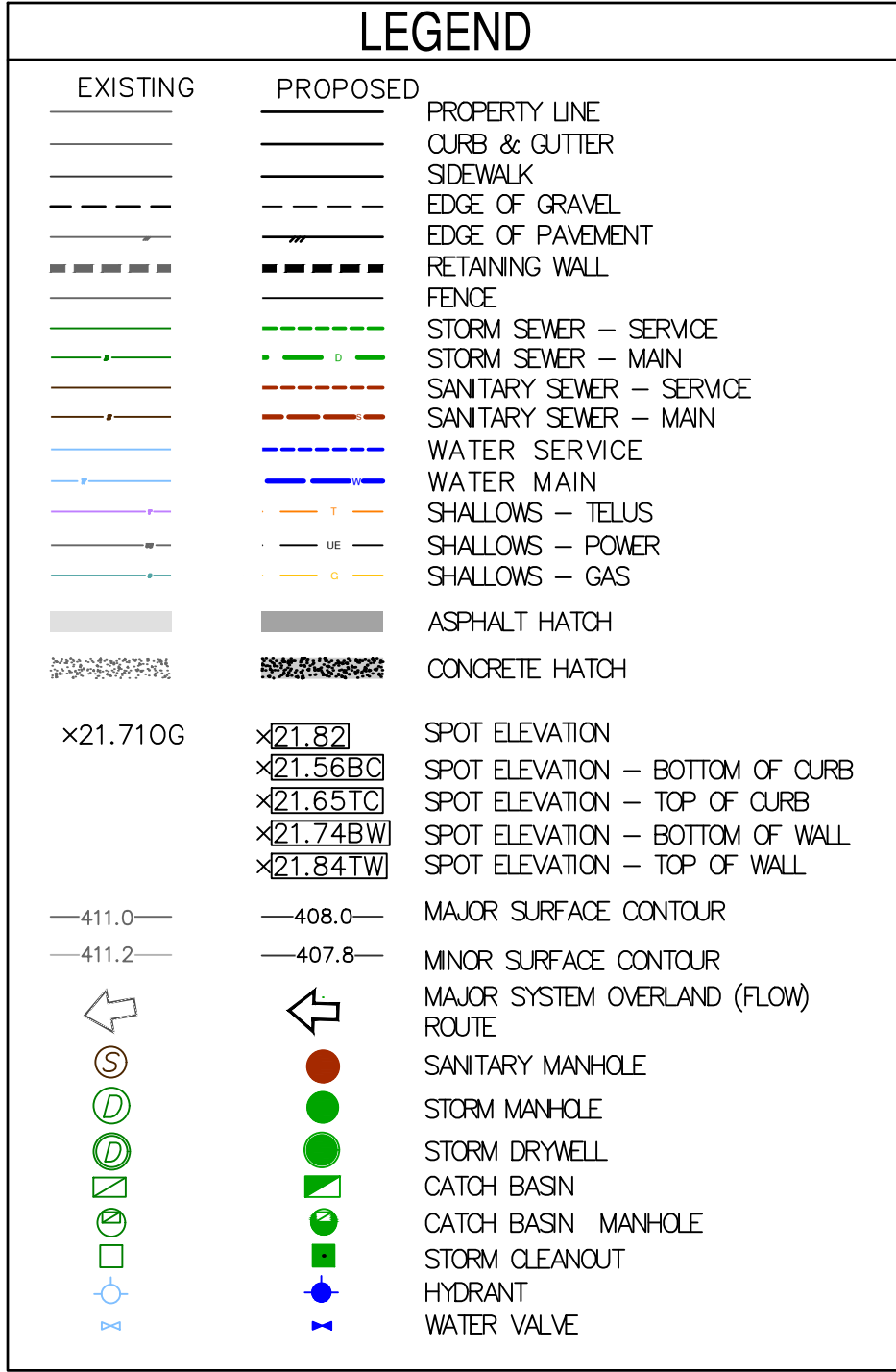
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PROJECT DRAWING NO. 2451-1632-061	REV NO. 3
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<div>CONSULTANT</div> <div> McElhanney</div> <div>2281 Hunter Road, Kelowna BC V1X 7C5 Tel. 250 861 8783</div>	STAMPS	NO.	DATE	ISSUE/REVISION	BY	APPROVED	CHECKED	SEAL	SURVEY	RUNNALS DENBY	BASE	T.SENUK	DISTRICT OF LAKE COUNTRY		DEPT.	DEVELOPMENT ENGINEERING
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		3	2025-03-04	ISSUED FOR DEVELOPMENT PERMIT - LOT 1	BB	JG	JG		BOTTOM WOOD LAKE ROAD		MUNICIPALITY RECORD NO.		SHEET NUMBER C1-100			
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<div>CONSULTANT</div> <div></div>	STAMPS	NO.	DATE	ISSUE/REVISION	BY	APPROVED	CHECKED	SEAL	SURVEY	BASE	DISTRICT OF LAKE COUNTRY BOTTOM WOOD LAKE ROAD PHASE 1 ON-SITE SERVICING PLAN & PROFILE SHEET 1 OF 4	DEPT. DEVELOPMENT ENGINEERING	
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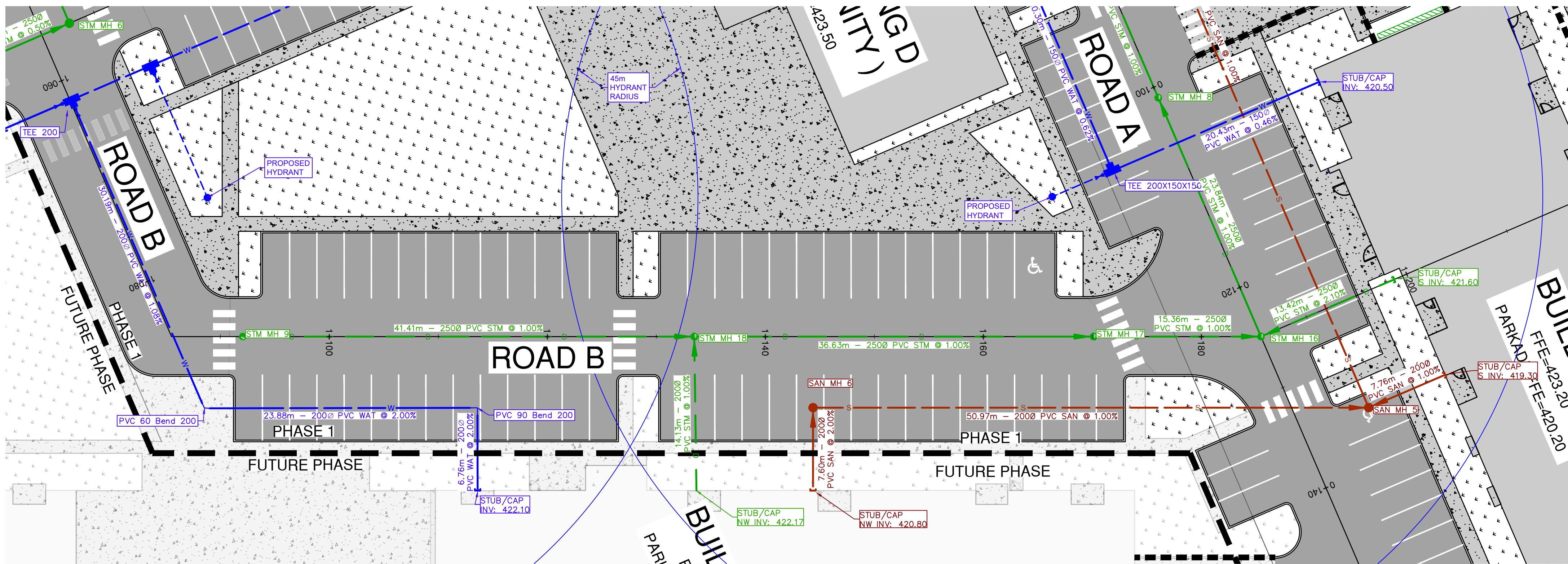


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NOTES:
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DATED: MAY 24, 2023
PREPARED BY: RUNNALS DENBY LTD.
SITEPLAN SHOWN ON THIS DWG REFLECTS SITE DRAWING DP1.03
DATED: 2025-03-04
PREPARED BY: ZEIDLER ARCHITECHTURE



LEGEND

EXISTING

PROPOSED

PROPERTY LINE

CURB & GUTTER

SIDEWALK

EDGE OF GRAVEL

EDGE OF PAVEMENT

RETAINING WALL

FENCE

STORM SEWER – SERVICE

STORM SEWER – MAIN

SANITARY SEWER – SERVICE

SANITARY SEWER – MAIN

WATER SERVICE

WATER MAIN

SHALLOWS – TELUS

SHALLOWS – POWER

SHALLOWS – GAS

ASPHALT HATCH

CONCRETE HATCH

SPOT ELEVATION

SPOT ELEVATION – BOTTOM OF CURB

SPOT ELEVATION – TOP OF CURB

SPOT ELEVATION – BOTTOM OF WALL

SPOT ELEVATION – TOP OF WALL

MAJOR SURFACE CONTOUR

MINOR SURFACE CONTOUR

MAJOR SYSTEM OVERLAND (FLOW) ROUTE

SANITARY MANHOLE

STORM MANHOLE

STORM DRYWELL

CATCH BASIN

CATCH BASIN MANHOLE

STORM CLEANOUT

HYDRANT

WATER VALVE

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PERMIT NUMBER: 1003299

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DATED: MAY 24, 2023
PREPARED BY: RUNNALLS DENBY LTD.
SITEPLAN SHOWN ON THIS DWG REFLECTS SITE DRAWING DP1.03
DATED: 2025-03-04
PREPARED BY: ZEIDLER ARCHTECHTURE

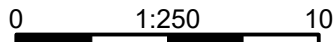


STAMPS

NO	DATE	ISSUE/REVISION	BY	APPROVED	CHECKED
1	2025-01-23	ISSUED FOR REVIEW	BB	JG	JG
2	2025-02-14	ISSUED FOR DEVELOPMENT PERMIT - LOT 1	BB	JG	JG
3	2025-03-04	ISSUED FOR DEVELOPMENT PERMIT - LOT 1	BB	JG	JG

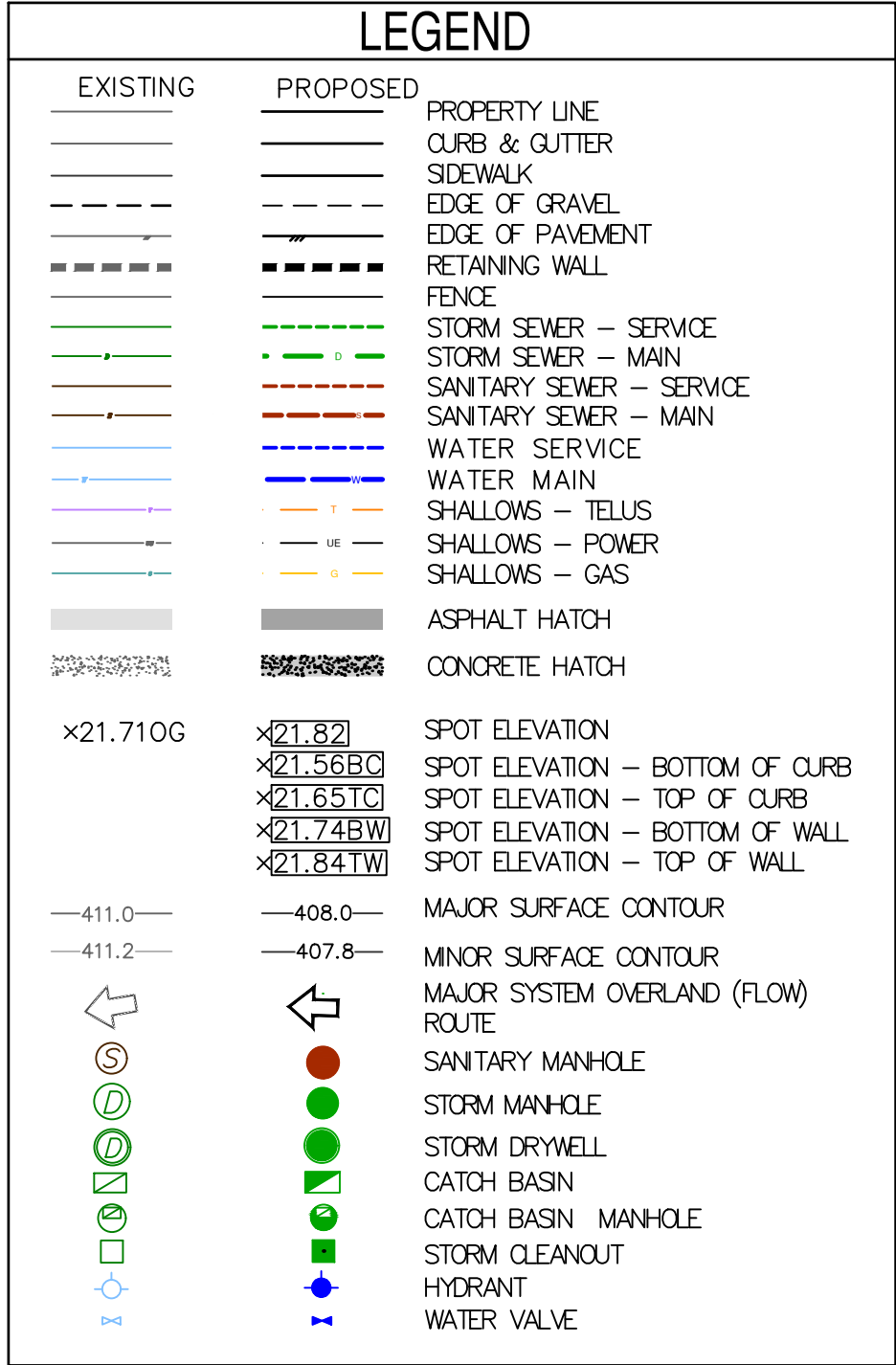
SEAL

SURVEY	BASE
RUNNALLS DENBY	T.SENUK
DESIGN	ENG. OF RECORD
B.BURYSKA	J.GRANBERG
SCALE	



DISTRICT OF LAKE COUNTRY
BOTTOM WOOD LAKE ROAD
PHASE 1
ON-SITE SERVICING PLAN & PROFILE
SHEET 3 OF 4

DEPT. DEVELOPMENT ENGINEERING	
MUNICIPALITY FILE NO.	
PROJECT DRAWING NO. 2451-1632-061	REV NO. 3
MUNICIPALITY RECORD NO.	SHEET NUMBER C1-302



PERMIT TO PRACTICE

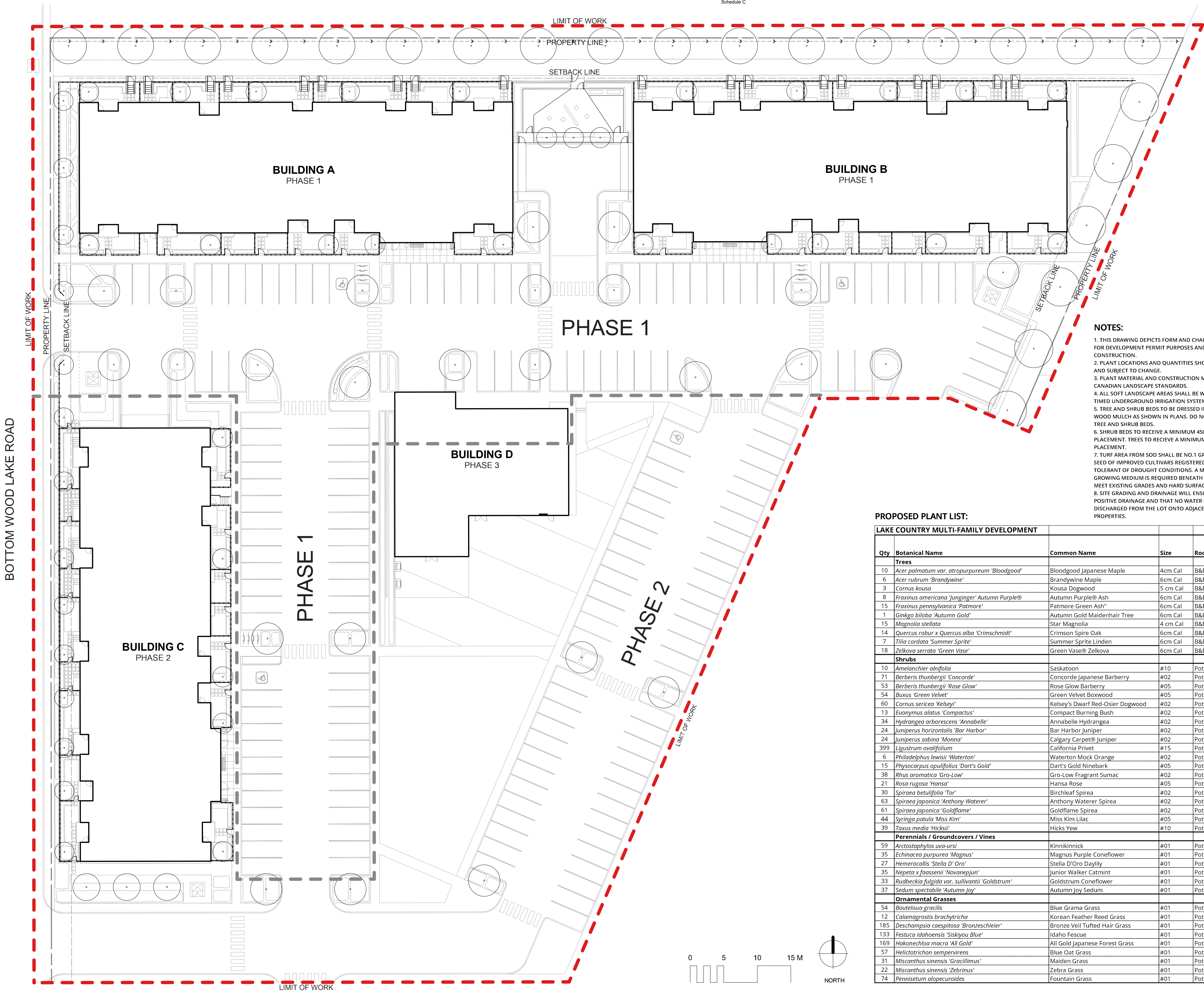
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Engineers and Geoscientists of
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DEPT.	
DEVELOPMENT ENGINEERING	
MUNICIPALITY FILE NO.	
PROJECT DRAWING NO. 2451-1632-061	REV NO. 3
MUNICIPALITY RECORD NO.	SHEET NUMBER C1-303



- NOTES:**
1. THIS DRAWING DEPICTS FORM AND CHARACTER OF THE LANDSCAPE DESIGN FOR DEVELOPMENT PERMIT PURPOSES AND SHALL NOT TO BE USED FOR CONSTRUCTION.
 2. PLANT LOCATIONS AND QUANTITIES SHOWN ON PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.
 3. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS.
 4. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 5. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 6. SHRUB BEDS TO RECEIVE A MINIMUM 450mm DEPTH GROWING MEDIUM PLACEMENT. TREES TO RECEIVE A MINIMUM 0.9m DEPTH GROWING MEDIUM PLACEMENT.
 7. TURF AREA FROM SOD SHALL BE NO.1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 8. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PROPOSED PLANT LIST:

LAKE COUNTRY MULTI-FAMILY DEVELOPMENT					
Qty	Botanical Name	Common Name	Size	Root	Mature Size (H x W)
Trees					
10	<i>Acer palmatum</i> var. <i>atropurpureum</i> 'Bloodgood'	Bloodgood Japanese Maple	4cm Cal	B&B	5m x 5m
6	<i>Acer rubrum</i> 'Brandywine'	Brandywine Maple	6cm Cal	B&B	12m x 9m
3	<i>Cornus kousa</i>	Kousa Dogwood	5 cm Cal	B&B	4.6m x 4.6m
8	<i>Fraxinus americana</i> 'Junginger' Autumn Purple®	Autumn Purple® Ash	6cm Cal	B&B	13.5m x 10m
15	<i>Fraxinus pennsylvanica</i> 'Patmore'	Patmore Green Ash	6cm Cal	B&B	13.5m x 10m
1	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Maidenhair Tree	6cm Cal	B&B	13m x 7m
15	<i>Magnolia stellata</i>	Star Magnolia	4 cm Cal	B&B	5m x 4m
14	<i>Quercus robur</i> x <i>Quercus alba</i> 'Crimschmidt'	Crimson Spire Oak	6cm Cal	B&B	13m x 4.5m
7	<i>Tilia cordata</i> 'Summer Sprite'	Summer Sprite Linden	6cm Cal	B&B	5m x 4m
18	<i>Zelkova serrata</i> 'Green Vase'	Green Vase® Zelkova	6cm Cal	B&B	13m x 9m
Shrubs					
10	<i>Amelanchier alnifolia</i>	Saskatoon	#10	Potted	3.0m x 2.0m
71	<i>Berberis thunbergii</i> 'Concorde'	Concorde Japanese Barberry	#02	Potted	0.6m x 0.6m
53	<i>Berberis thunbergii</i> 'Rose Glow'	Rose Glow Barberry	#05	Potted	1.5m x 1.5m
54	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	#05	Potted	1.2m x 0.9m
60	<i>Cornus sericea</i> 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#02	Potted	0.75m x 0.75m
13	<i>Euonymus alatus</i> 'Compactus'	Compact Burning Bush	#02	Potted	1.5m x 1.75m
34	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	#02	Potted	1.5m x 1.5m
24	<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Juniper	#02	Potted	0.2m x 2.5m
24	<i>Juniperus sabina</i> 'Monna'	Calgary Carpet® Juniper	#02	Potted	0.3m x 2.1m
399	<i>Ligustrum ovalifolium</i>	California Privet	#15	Potted	3.0m x 1.0m
6	<i>Philadelphus lewisii</i> 'Waterton'	Waterton Mock Orange	#02	Potted	2.0m x 1.75m
15	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Dart's Gold Ninebark	#05	Potted	1.5m x 1.2m
38	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	#02	Potted	0.75m x 1.8m
21	<i>Rosa rugosa</i> 'Hansa'	Hansa Rose	#05	Potted	1.5m x 1.2m
30	<i>Spiraea betulifolia</i> 'Tor'	Birchleaf Spirea	#02	Potted	0.6m x 1.0m
63	<i>Spiraea japonica</i> 'Anthony Waterer'	Anthony Waterer Spirea	#02	Potted	0.6m x 1.0m
61	<i>Spiraea japonica</i> 'Goldflame'	Goldflame Spirea	#02	Potted	0.6m x 1.0m
44	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	#05	Potted	1.5m x 1.5m
39	<i>Taxus media</i> 'Hicksii'	Hicks Yew	#10	Potted	3.0m x 1.0m
Perennials / Groundcovers / Vines					
59	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#01	Potted	0.1m x 0.5m
35	<i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower	#01	Potted	0.9m x 0.6m
27	<i>Hemerocallis</i> 'Stella D' Oro'	Stella D'Oro Daylily	#01	Potted	0.3m x 0.5m
35	<i>Nepeta x faassenii</i> 'Novanepjui'	Junior Walker Catmint	#01	Potted	0.4m x 0.8m
33	<i>Rudbeckia fulgida</i> var. <i>sulivantii</i> 'Goldstrum'	Goldstrum Coneflower	#01	Potted	0.75m x 0.6m
37	<i>Sedum spectabile</i> 'Autumn Joy'	Autumn Joy Sedum	#01	Potted	0.6m x 0.6m
Ornamental Grasses					
54	<i>Bouteloua gracilis</i>	Blue Grama Grass	#01	Potted	1.0m x 1.0m
12	<i>Calamagrostis brachytricha</i>	Korean Feather Reed Grass	#01	Potted	1.25m x 0.6m
185	<i>Deschampsia caespitosa</i> 'Bronzeschleier'	Bronze Veil Tufted Hair Grass	#01	Potted	1.0m x 0.6m
133	<i>Festuca idahoensis</i> 'Siskiyau Blue'	Idaho Fescue	#01	Potted	0.3m x 0.3m
169	<i>Hakonechloa macro</i> 'All Gold'	All Gold Japanese Forest Grass	#01	Potted	0.3m x 0.4m
57	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#01	Potted	1.0m x 0.75m
31	<i>Miscanthus sinensis</i> 'Gracillimus'	Maiden Grass	#01	Potted	1.5m x 1.2m
22	<i>Miscanthus sinensis</i> 'Zebrinus'	Zebr Grass	#01	Potted	2.1m x 1.5m
74	<i>Pennisetum alopecuroides</i>	Fountain Grass	#01	Potted	1.25m x 1.0m



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NO. ISSUE/ REVISION DATE

NOT FOR CONSTRUCTION

PROJECT

9751 BOTTOM WOOD LAKE ROAD, LAKE COUNTRY

PROJECT ADDRESS

9751 BOTTOM WOOD LAKE ROAD
LAKE COUNTRY, BC V4V1S7

TITLE

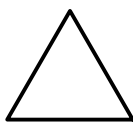
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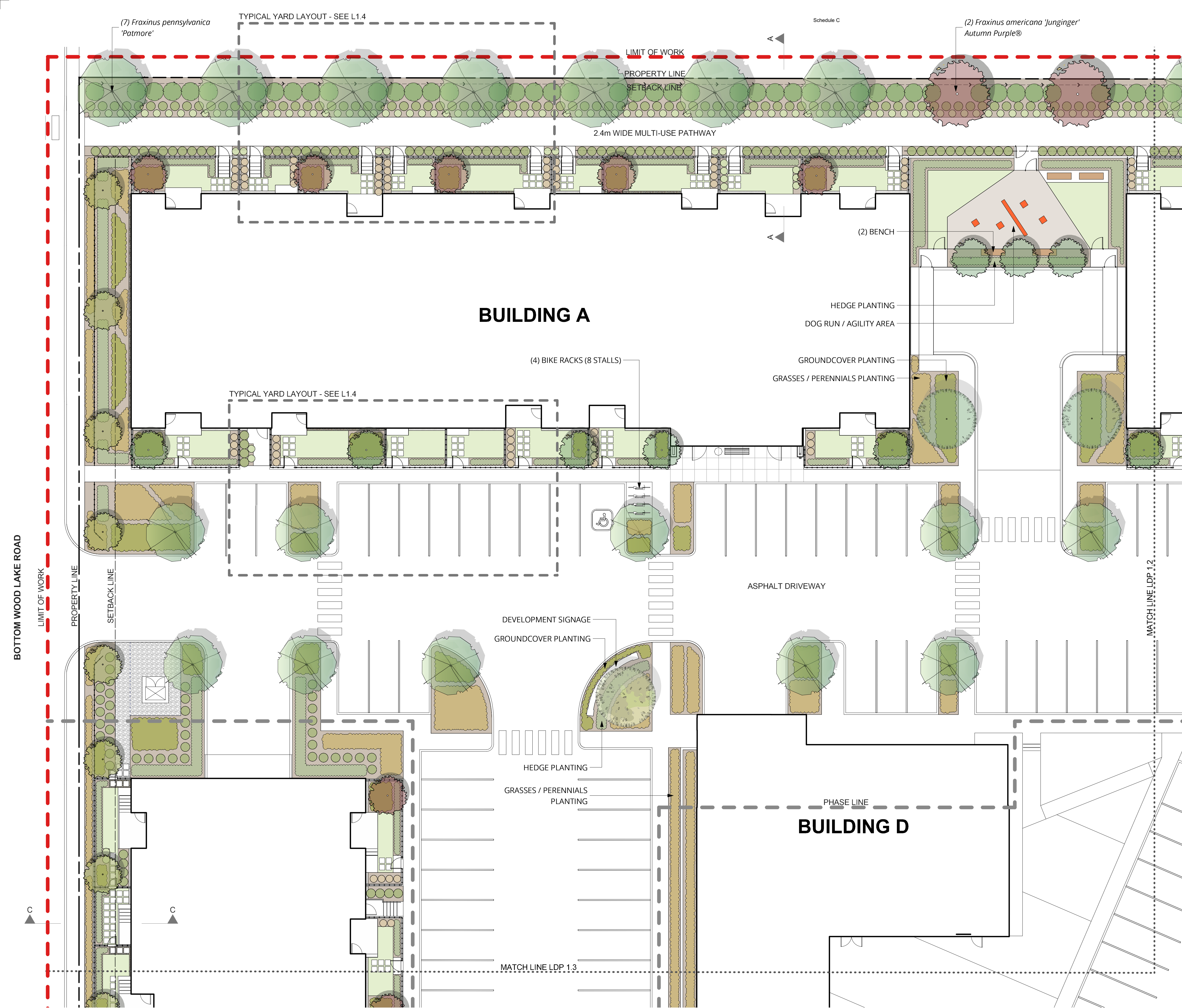
PROJECT NO. DRAWN CHECKED

24039-100 NV DJ

DRAWING NO. REVISION NO.

LDP 1.0





- LEGEND:**
- PROPOSED TREES
 - PROPOSED SHRUBS
 - PROPERTY LINE
 - LIMIT OF WORK
 - PHASE LINE
 - SETBACK LINE
 - COMPACTED GRAVEL PAVING
 - ROCK MULCH
 - GROUND COVER PLANTING
 - GRASSES AND PERENNIAL PLANTING
 - SHRUB HEDGE
 - GUARD RAILS & FENCING
 - ARTIFICIAL TURF
 - MULCH PLANTING AREAS



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LAKE ROAD,
LAKE COUNTRY**

PROJECT ADDRESS

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TITLE

LANDSCAPE PLAN

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DRAWING NO.	REVISION NO.
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LDP 1.1





- LEGEND:
- PROPOSED TREES
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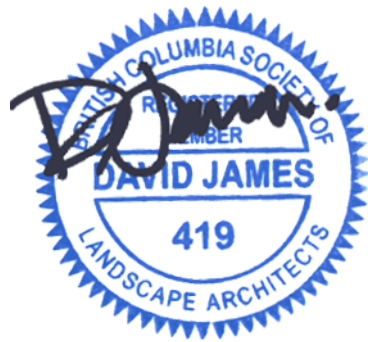
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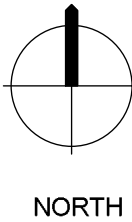
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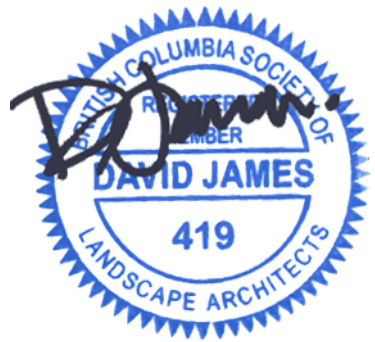
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LANDSCAPE PLAN

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LDP 1.2		





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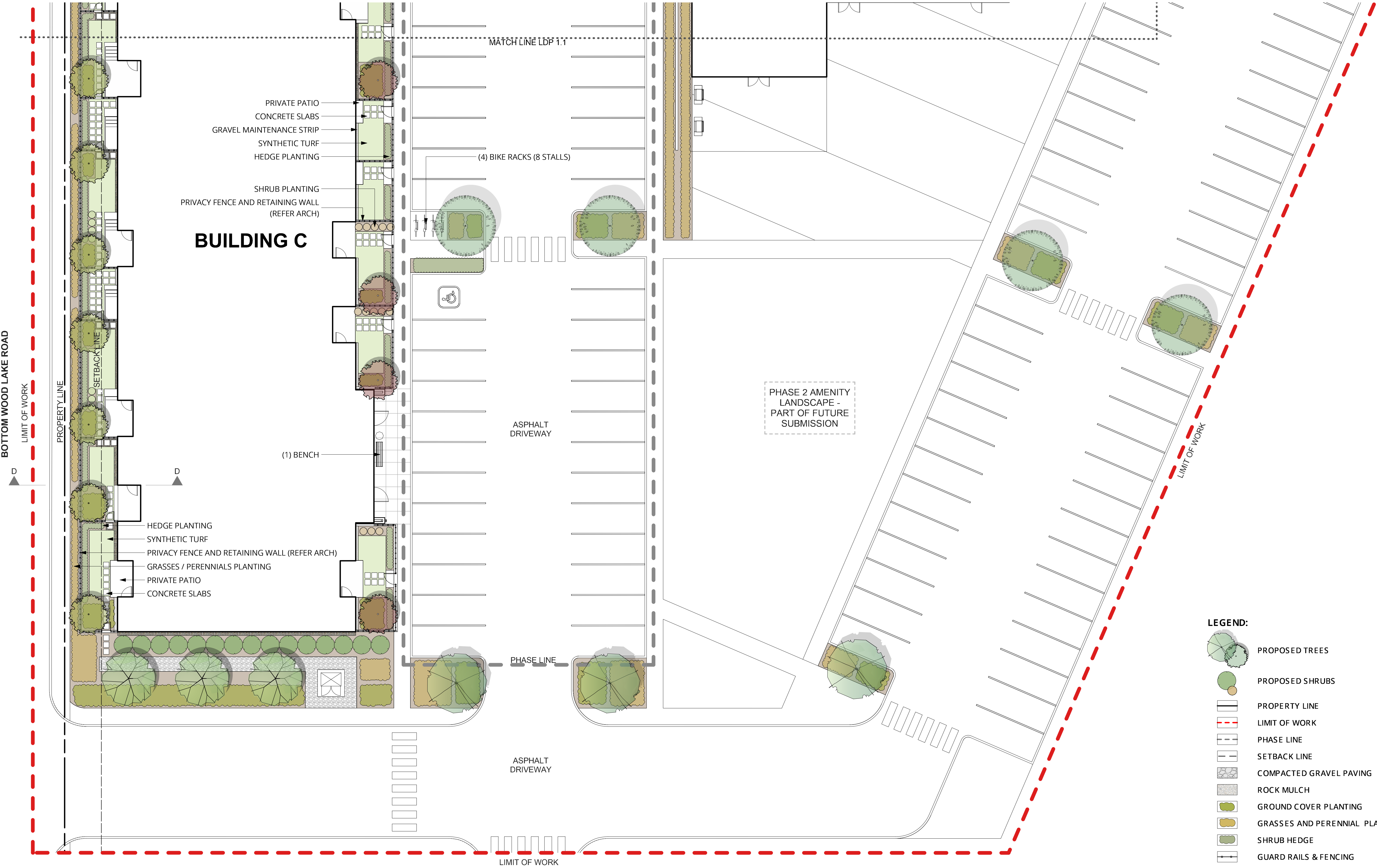
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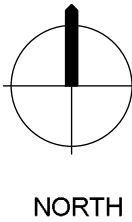
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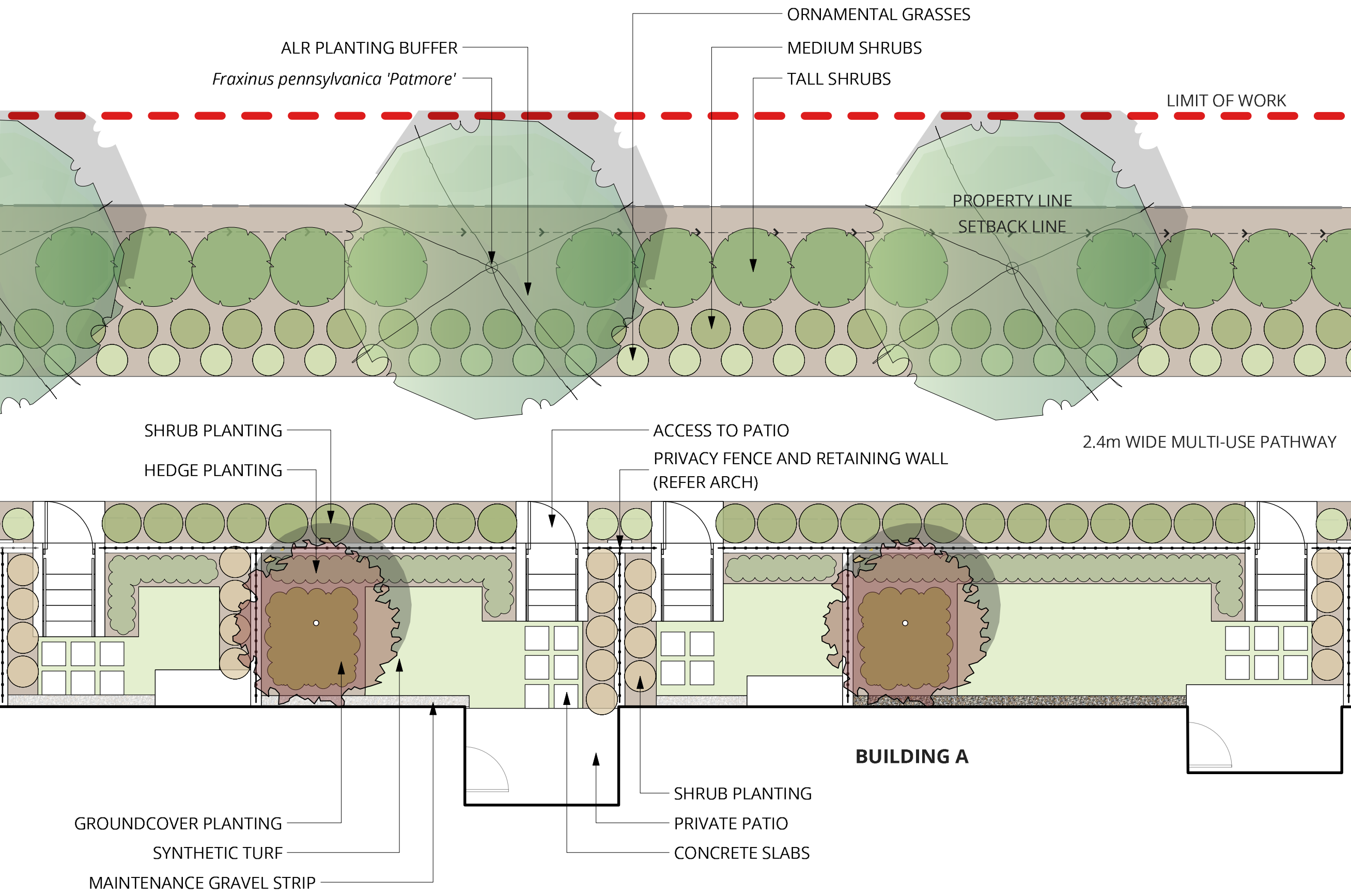
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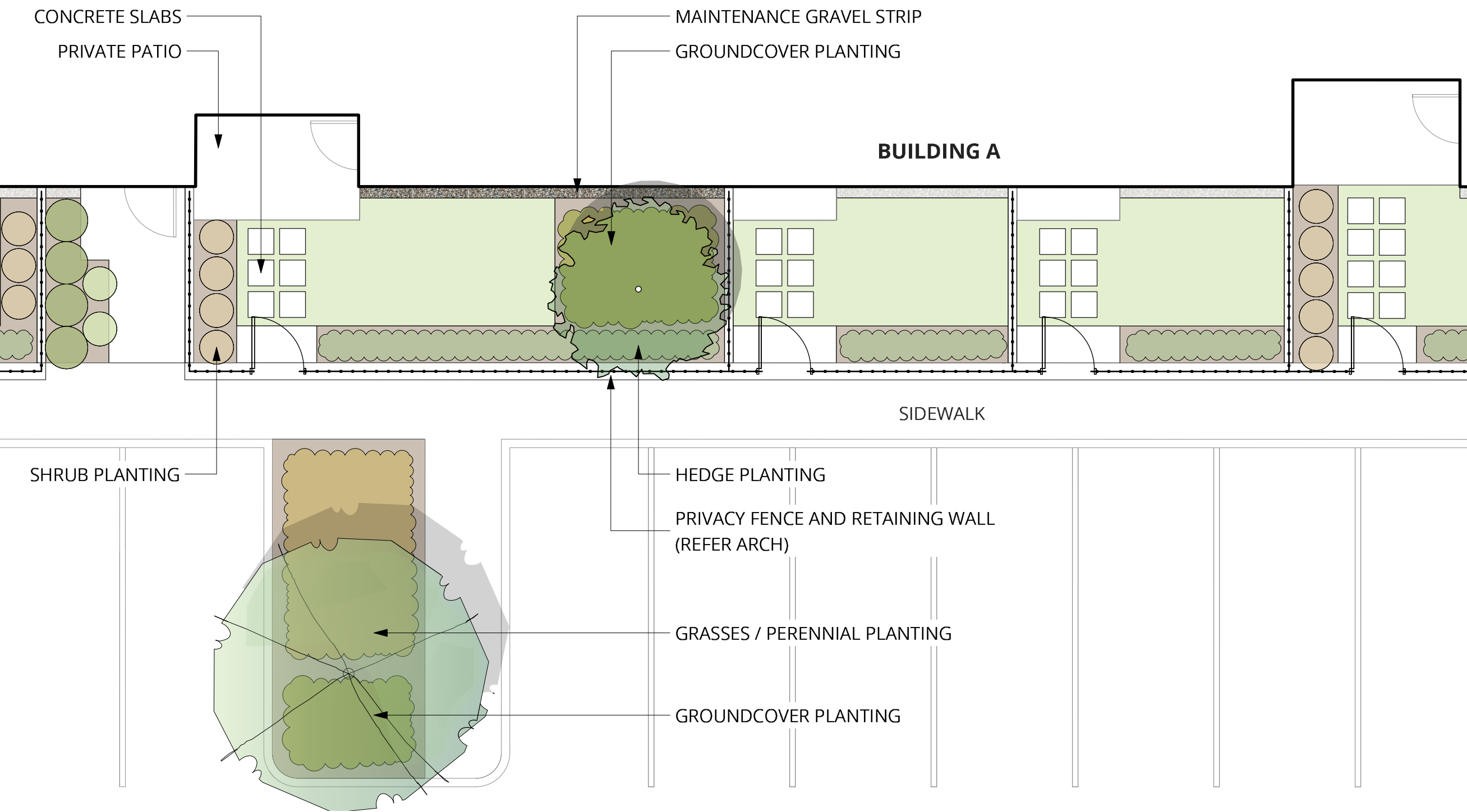


- LEGEND:
- PROPOSED TREES
 - PROPOSED SHRUBS
 - PROPERTY LINE
 - LIMIT OF WORK
 - PHASE LINE
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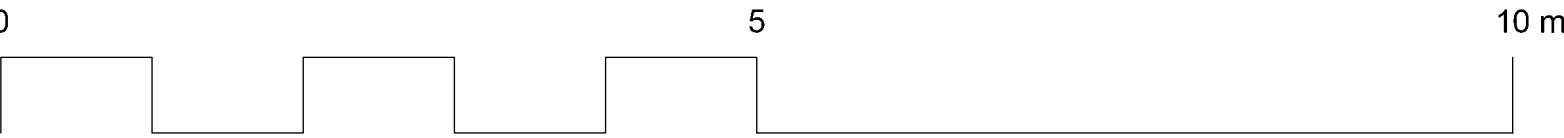




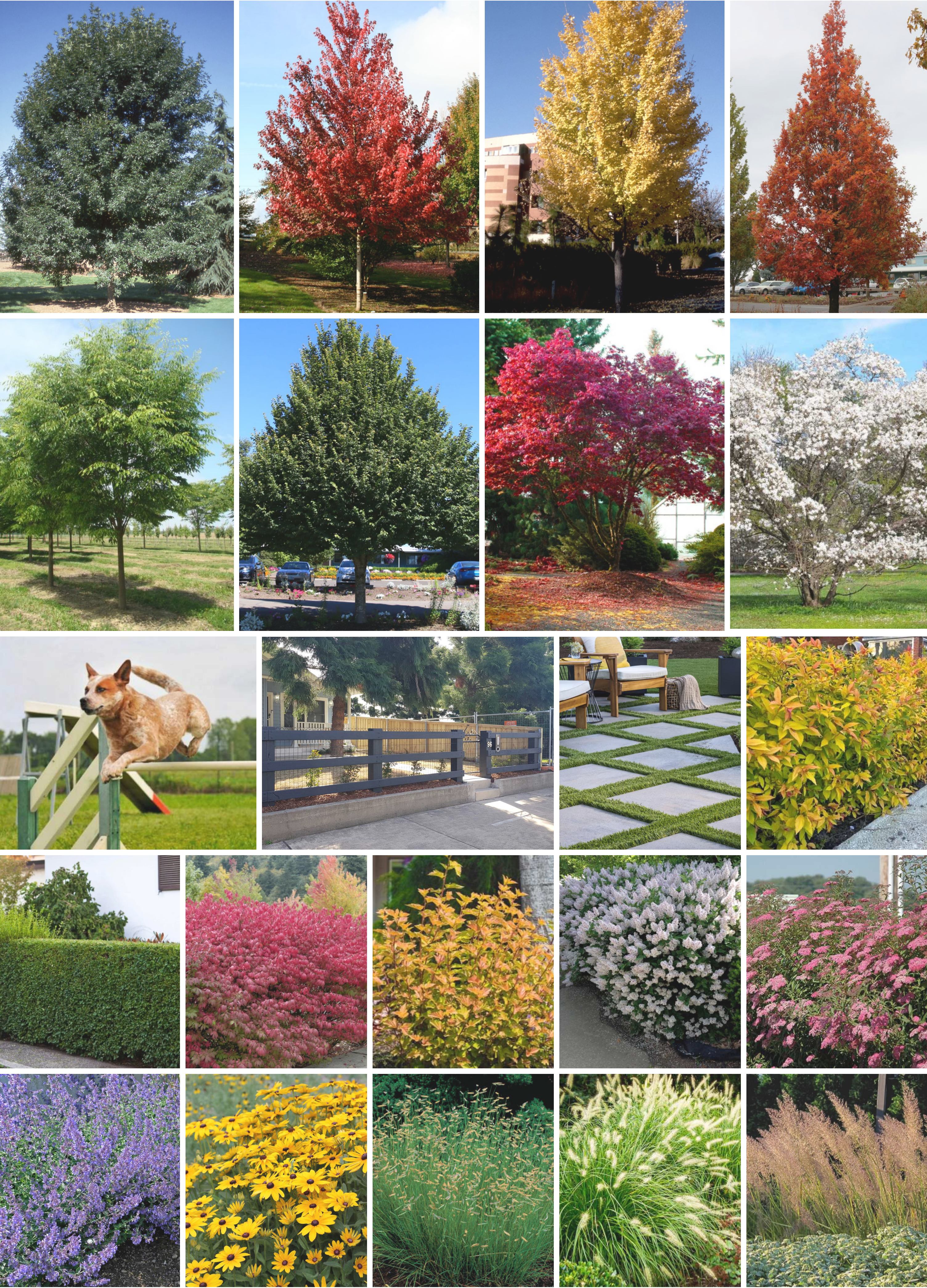
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TYPICAL BUILDING A & B - SOUTH



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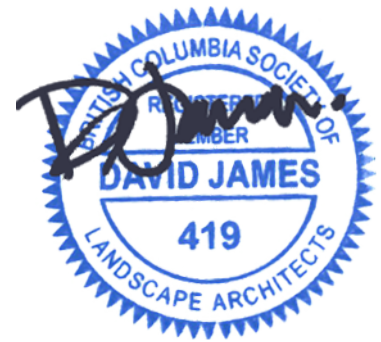
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PROJECT ADDRESS

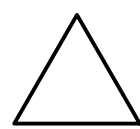
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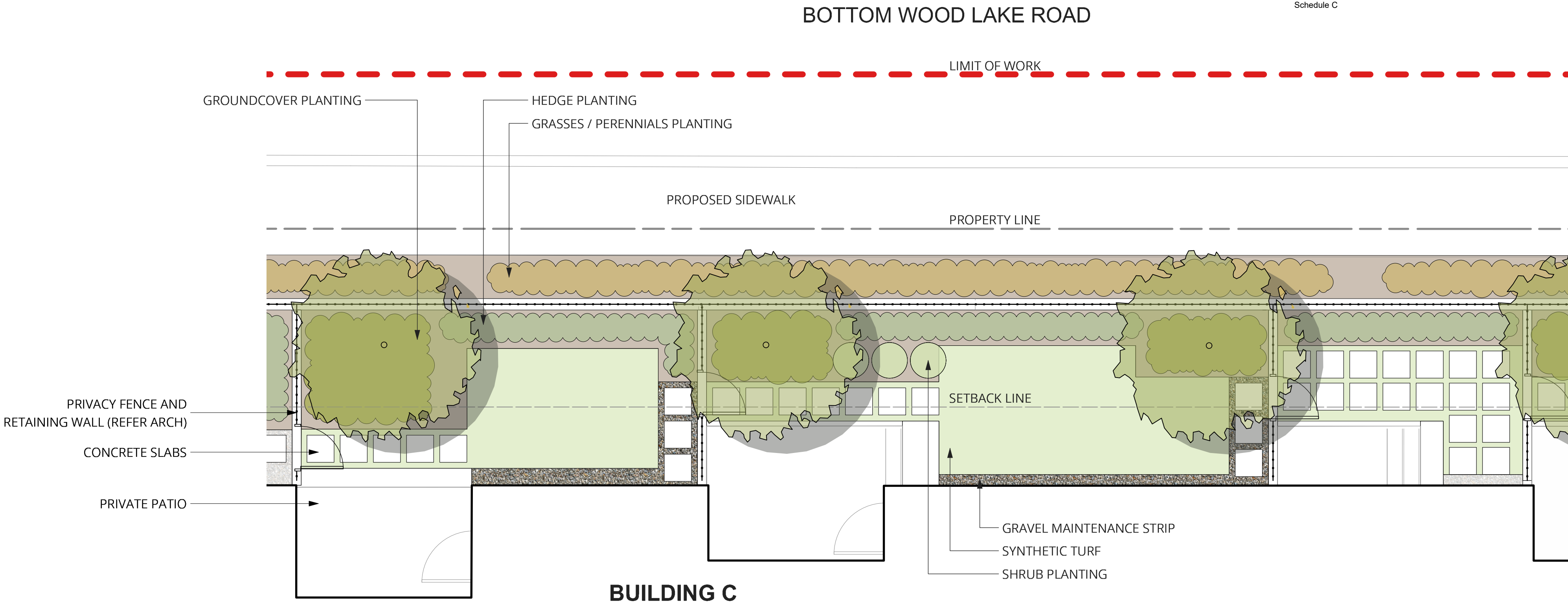
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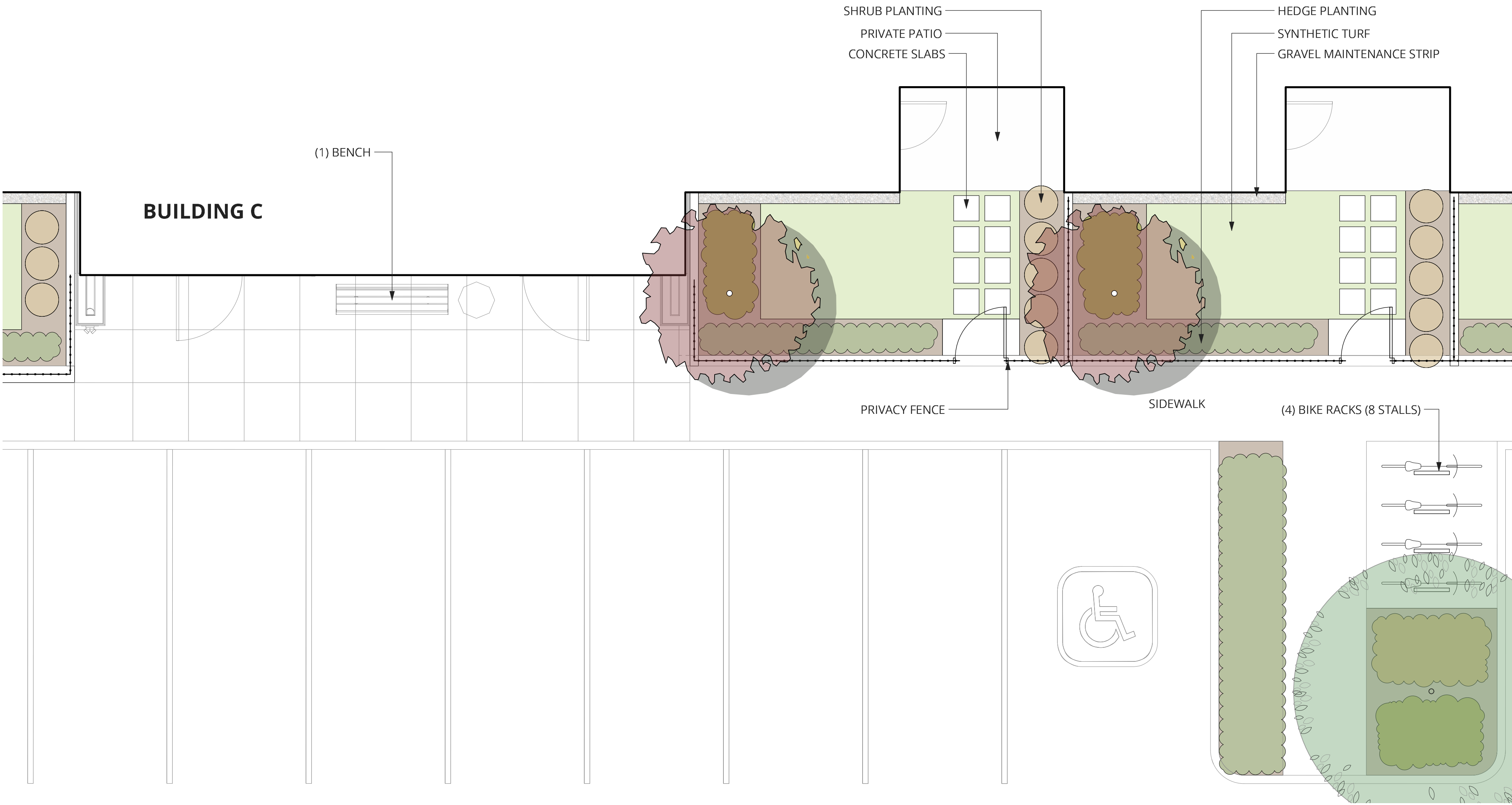
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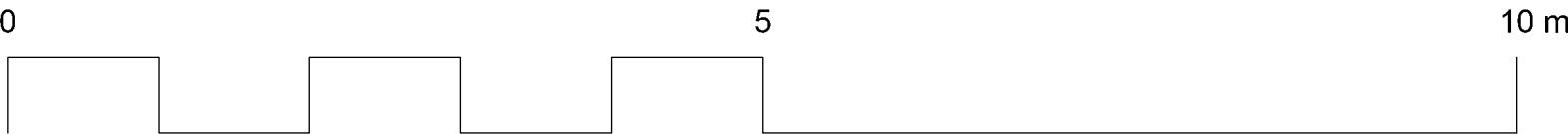




TYPICAL BUILDING C - WEST



TYPICAL BUILDING C - EAST



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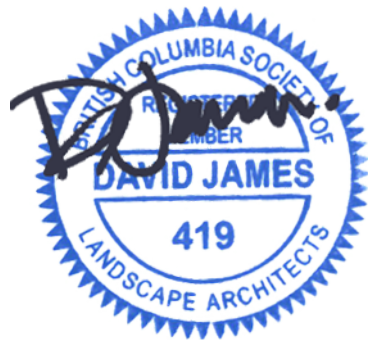
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LAKE COUNTRY, BC V4V1S7

TITLE

BLDG C
TYP UNIT PLANTING

PROJECT NO. 24039-100

DRAWN NV

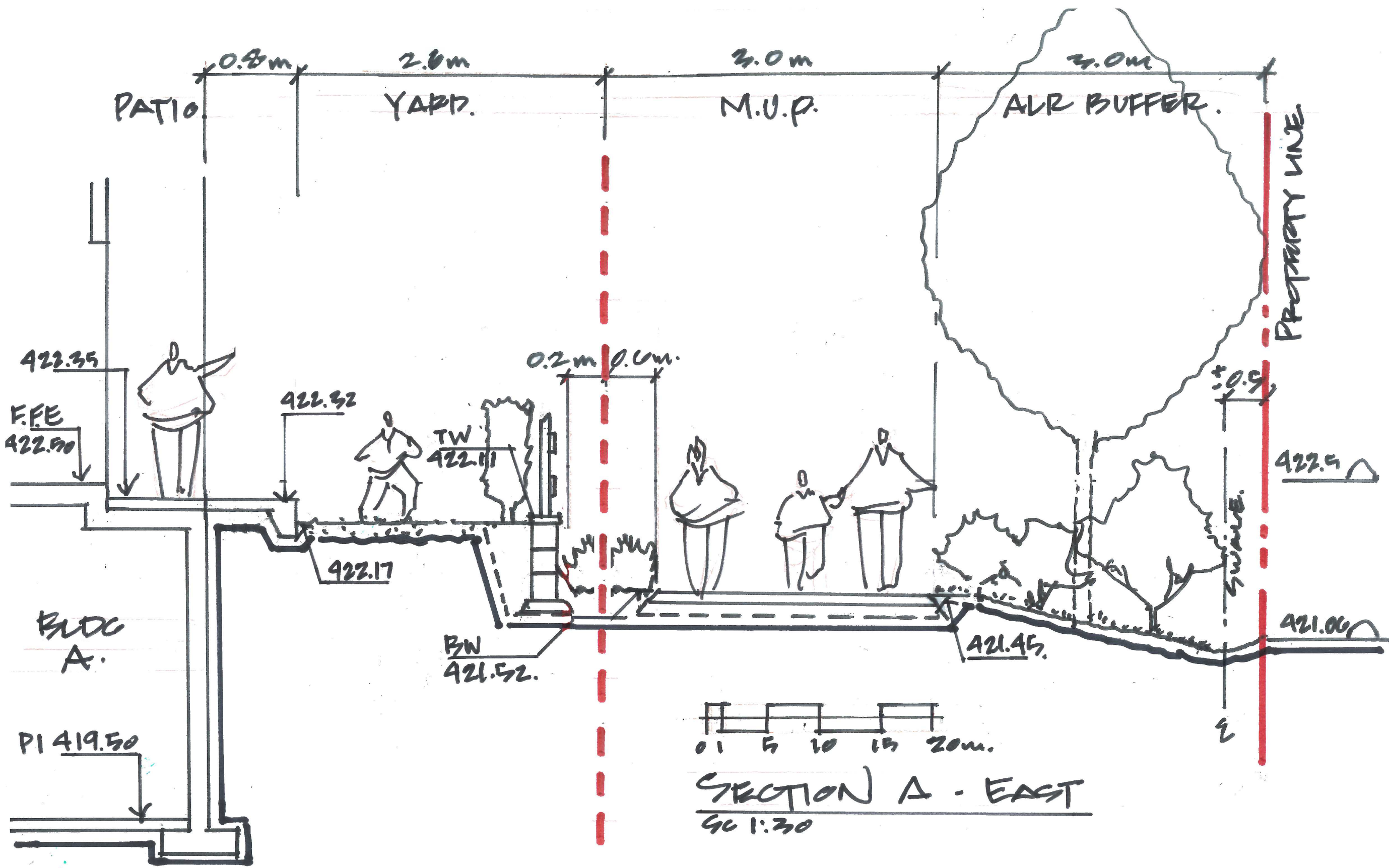
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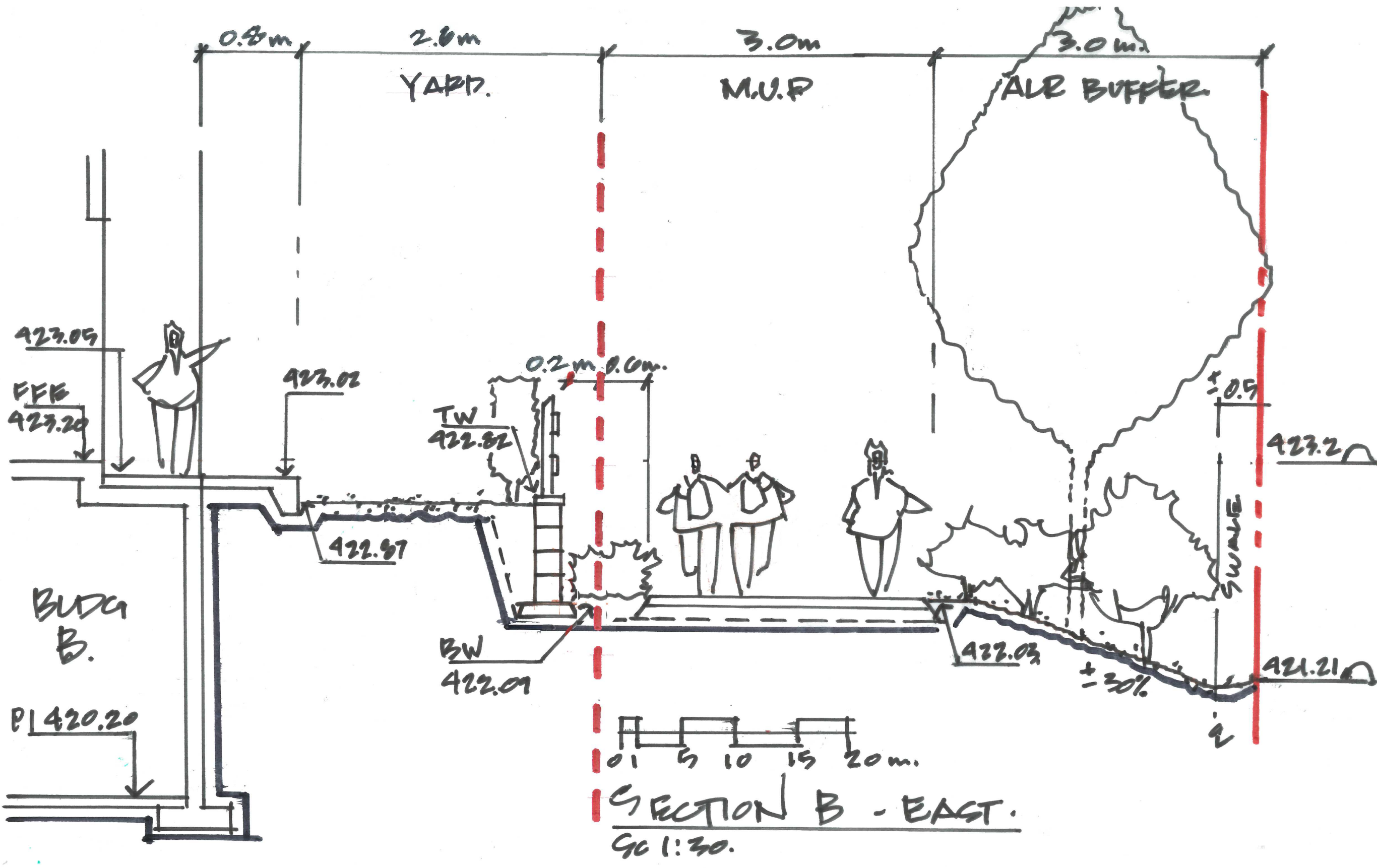
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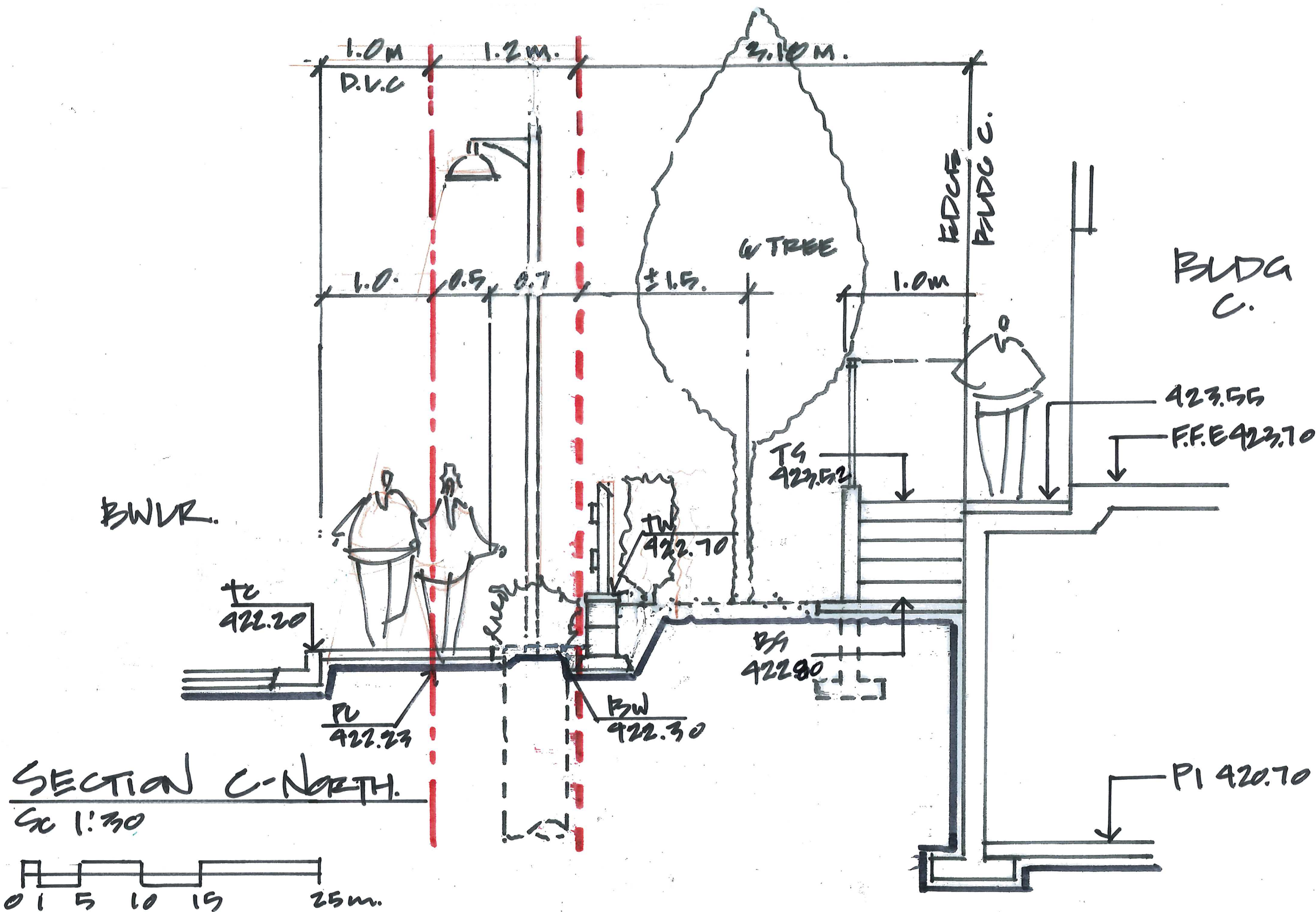




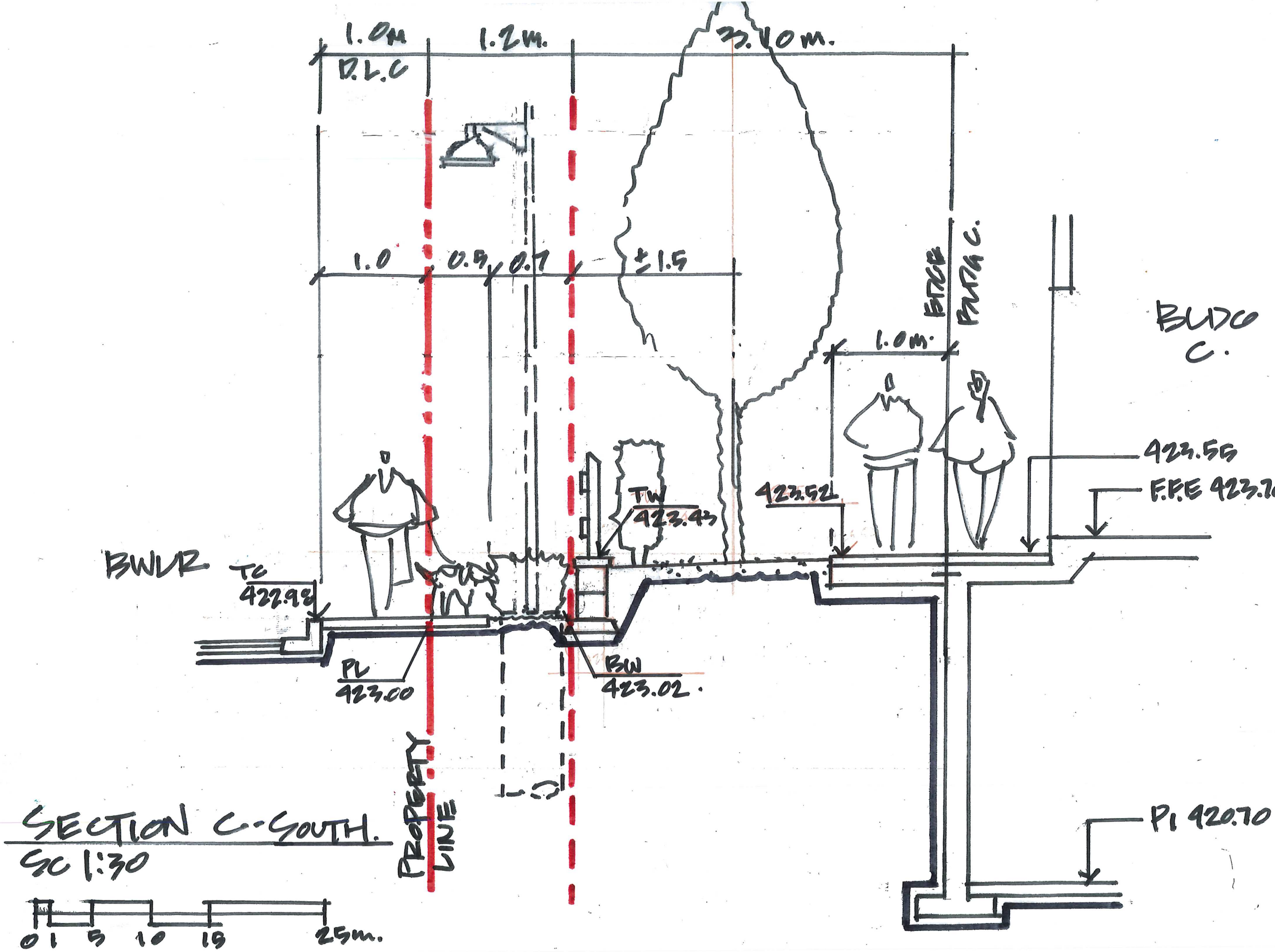
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BUILDING B
SECTION B-B (REFER L1.2)



BUILDING C
SECTION C-C (REFER L1.1)



BUILDING C
SECTION D-D (REFER L1.3)

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PROJECT
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PROJECT ADDRESS
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TITLE
TYPICAL SECTIONS

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DRAWING NO.	REVISION NO.	

LDP 1.6

